

**THERESA M. SPENCER
LAPEER COUNTY CLERK**

County Complex Building
255 Clay Street
Lapeer, Michigan 48446

Phone 810 area code
667-0356
Circuit Court Division
667-0358
Fax 667-0362

A-G-E-N-D-A*

**LAPEER COUNTY BOARD OF COMMISSIONERS
REGULAR BOARD MEETING**

**May 25, 2023
9:00 A.M.**

Tom Kohlman	District #1
Gary Howell	District #2
Kevin Knisely	District #3
Brad Haggadone	District #4
Truman Mast	District #5
William Hamilton	District #6
Bryan Zender	District #7

CALL TO ORDER BY CHAIRMAN/VICE-CHAIR

- ◆ Roll Call
- ◆ Opening Prayer
- ◆ Pledge of Allegiance

CONSIDERATION FOR APPROVAL:

- ◆ Agenda
- ◆ April 27, 2023 Regular Board Meeting Minutes
- ◆ May 18, 2023 Special Board Meeting Minutes
- ◆ May 24, 2023 Special Board Meeting Minutes (to be distributed)

FOR REVIEW IN FOLDER:

**COMMISSIONER MILEAGE/EXPENSE SHEETS (included in agenda, if any)
TRAINING REGISTRATION/OVERNIGHT TRAVEL REQUEST
GRANT APPLICATIONS & BUDGET AMENDMENTS**

ELECTED OFFICIAL/DEPARTMENT HEAD UPDATES

NEW/OLD BUSINESS:

DRAFT MOTIONS

- | | | |
|---|----------------|------------|
| ◆ Committee of the Whole | (May 11, 2023) | (Attached) |
| ◆ Personnel Committee | (May 11, 2023) | (Attached) |
| ◆ Properties Committee | (May 11, 2023) | (Attached) |
| ◆ American Rescue Plan Act Committee (ARPA) | (May 11, 2023) | (Attached) |

1. AUDIT MOTIONS

to enter into the record the County's Audit Motions for May 5, 2023, May 11, 2023, and May 19, 2023 and also the Road Commissions Audit Motion for disbursements dated May 4, 2023 and May 18, 2023

- 2. *NOTICE OF APPOINTMENTS NEEDED** -Applications are required and available at: www.lapeercountymi.gov, or the County Administration Office

A. Senior Programs Advisory Board – two-year term ending 12-31-2024

Commissioner Representative for District #7 - Almont & Dryden Townships
(Appointment pending receipt of Application(s) - Applicant must be a resident of Commissioner District #7)

B. Thumb Regional Community Corrections Advisory Board – two-year term ending 03-31-2025

(Appointment pending a recommendation from Thumb Regional Community Corrections Advisory Board)

C. Valley Area Agency on Aging (VAAA) -two-year term

One vacant Executive Board unexpired term ending 12-31-2025
One vacant Advisory Board unexpired term ending 12-31-2025
(Appointments pending receipt of Application(s). Applicant must be 60 years or older)

D. Land Bank Authority Board – three-year term ending May 7, 2026

One position which expired May 7, 2023
(Appointment pending a recommendation from the County Treasurer)

(Additional items)

3.

4.

AD HOC COMMITTEE UPDATES- If needed

FISCAL PLANNING/BUDGETING DISCUSSION – If needed

PUBLIC TIME - Citizens Comments, etc.

COMMISSIONER REPORTS

CLOSED SESSION - If needed

RECESS/ADJOURN

*Agenda revised 5-23-2023

****Public Recording Notice:** Please be advised that the meetings of the Lapeer County Board of Commissioners are streamed live and recorded on social media for public viewing and transparency. We respectfully request that anyone addressing the Board of Commissioners during "Public Time" be proactive and make every effort in keeping their words and language appropriate for ALL users, including children for educational purposes. ******

**LAPEER COUNTY BOARD OF COMMISSIONERS
Regular Board Meeting
April 27, 2023
9:00 A.M.**

Vice-Chair Mast called the meeting to order at 9:00 a.m. in the Commission Chambers on the lower level of the County Complex Building. Commissioner Haggadone opened the meeting with a prayer. The Pledge of Allegiance was recited.

Present:	Tom Kohlman	District #1
	Gary Howell***	District #2
	Kevin Knisely	District #3
	Brad Haggadone**	District #4
	Truman Mast*	District #5
	William Hamilton	District #6
	Bryan Zender	District #7

AGENDA

The agenda and draft minutes from March 23, 2023 Regular Board Meeting were reviewed.

111-2023

Motion by Howell, supported by Haggadone, to accept the agenda with the addition a request regarding the Community Mental Health roof, and the deletion of a closed session. Motion carried.

112-2023

Motion by Knisely, supported by Mast, to approve the March 23, 2023 Regular Board Meeting minutes, as presented. Motion carried.

ELECTED OFFICIAL/DEPARTMENT HEAD UPDATES

Theresa M. Spencer, County Clerk noted that she has appointed John DeAngelis to serve on the Board of Canvass, for an unexpired term due to the Resignation of Greg Harper.

Sheriff McKenna gave a brief update and introduced Undersheriff Michael Odette.

Emil Joseph III, Friend of the Court gave an update regarding his office.

PUBLIC TIME – Nine people spoke during public time.

113-2023

Motion by Howell, supported by Haggadone, to approve payment of \$15,000.00 to H2A Architects for assessment services and bid package development for the Historic Courthouse Building, and further, to authorize the Chair/Vice-Chair to sign the appropriate document related to this process. Motion carried.

114-2023

Motion by Haggadone, supported by Hamilton, pursuant to Section 5.16 of the Rules of Procedure, giving the Committee of the Whole the authority to act, to enter into the official record the following action taken at the April 13, 2023 meeting of the Committee of the Whole:

“Motion by Hamilton, supported by Mast, to adopt the following resolution regarding National Telecommunicators Week:

RESOLUTION #2023-R003

WHEREAS, *Lapeer County Central Dispatch has been designated as the Public Safety Answering Point for all public safety response in Lapeer County for those emergencies that require police, fire or emergency medical services; and,*

WHEREAS, *the telecommunications of Lapeer County Central Dispatch answer those calls for assistance and serve as the first and most critical contact our citizens have with emergency services; and,*

WHEREAS, *the safety of police officers, firefighters and emergency medical service providers that serve our citizens are dependent on the quality and accuracy of information obtained from citizens who contact Lapeer County Central Dispatch; and,*

WHEREAS, *Lapeer County Central Dispatch Public Safety Telecommunicators provide the single most vital link for our police officers, firefighters, and emergency medical service providers, by monitoring their activities by radio, providing them with information, and ensuring their safety; and*

WHEREAS, *the Public Safety Telecommunicators of Lapeer County Central Dispatch have assisted in the saving of many lives, the apprehension of criminals, and prevention of considerable property loss each year; and,*

WHEREAS, *each member of Lapeer County Central Dispatch has exhibited compassion, understanding and professionalism during the performance as a Public Safety Telecommunicator; and,*

WHEREAS, *on October 9, 1991, the Congress of the United States proclaimed the second week in April as “National Public Safety Telecommunications Week.”*

NOW, THEREFORE, BE IT RESOLVED, *that the Board of Commissioners hereby proclaims the week of April 9 – 15, 2023 as **PUBLIC SAFETY TELECOMMUNICATORS WEEK** in Lapeer County, in recognition of the men and women whose dedication and professionalism help keep our county and citizens safe.*

BE IT FURTHER RESOLVED, *that the Board of Commissioners urges county residents and public safety responders, to join in honoring the staff of Lapeer County Central Dispatch in recognition for their continued professionalism and dedication to the public safety of Lapeer County.*

Roll Call vote: Hamilton, aye; Mast, aye; Zender, aye; Haggadone, aye; Howell, aye; Knisely, aye; Kohlman, aye; 7 ayes. Motion carried unanimously.”

Motion carried.

115-2023

Motion by Howell, supported by Haggadone, to approve the Office of the Prosecuting Attorney salary scale as it relates to Chief Prosecuting Attorney and Assistant Prosecuting Attorneys. Motion carried.

116-2023

Motion by Mast, supported by Knisely, to refer the discussion regarding the Prosecutor's Salary to the May 11, 2023 Committee of the Whole Meeting. Motion carried.

117-2023

Motion by Zender, supported by Haggadone, to approve renewal of the Maintenance Agreement for the Live Scan Fingerprint machine located in the Lapeer County Court Complex, Room #83, at a cost of \$3,703.00. Motion carried.

118-2023

Motion by Hamilton, supported by Zender, to authorize the Sheriff's Department to purchase 9 Spike Stab Vests at an approximate cost of \$4,095.00 from line item 207-351-743.000 and 7 Bullet Proof Vests at an approximate cost of \$7,140.00 from line item 207-301-743.000, for a total cost of \$11,235.00, with a request that a representative from the Sheriff's Department be available at the next meeting for further explanation. Motion carried.

119-2023

Motion by Zender, supported by Hamilton, to approve the expenditure from the Automation Fund (Register of Deeds) 256-711-977.010, for an amount not to exceed \$7,400.00 to purchase Scan Pro 2500 Microfilm Scanner thru Smith Imaging and Micrographic Solutions. Motion carried.

120-2023

Motion by Zender, supported by Haggadone, to approve the submitted Fiscal Year 2023 Remonumentation Grant Agreements for Surveying Services between the County of Lapeer and Davis Land Surveying and Engineering; RA Duthler Land Surveyor, LLC; and Kennedy Surveying, Inc.; as well as the Peer Review Group Agreements with Steven Thompson, P.S. and Ray Davis, P.S.; and further, to authorize the Lapeer County Grant Administrator (Chief Financial Officer) to sign said agreements. Motion carried.

121-2023

Motion by Haggadone, supported by Mast, to authorize the Health Department Director/Health Officer to electronically accept the Valley Area Agency on Aging (VAAA) Fiscal Year 2023 Round 1 Contract Amendment for various senior services, at no cost to the County's General Fund; and further, that a copy of the electronically submitted grant agreement be forwarded to the County Clerk to be filed as an official exhibit. Motion carried.

122-2023

Motion by Haggadone, supported by Knisely, to authorize the transfer of \$89,661.33, representing the second of three installments toward the annual allocation of \$268,984.00, from Lapeer County Community Mental Health Appropriations (101-990-999.222) to Lapeer County Community Mental Health Expenditures (222-990-695.010). Motion carried.

123-2023

Motion by Hamilton, supported by Haggadone, to authorize payment to Shifman Fournier, in the amount of \$825.00, for labor related legal services rendered through March 31, 2023, to be paid from line item 101-239-801.020. Motion carried.

124-2023

Motion by Zender, supported by Howell, to adopt the following Resolution regarding the Dryden Casey Project Michigan Department of Natural Resources Spark Grant Agreement ; and further, to accept the Grant Agreement to authorize the Chair/Vice-Chair to sign said agreement.

RESOLUTION #2023-R004
TO ACCEPT THE DRYDEN CASEY PROJECT
M.D.N.R. SPARK GRANT AGREEMENT

BE IT RESOLVED, that Lapeer County, Michigan, does hereby accept the terms of the Agreement as received from the Michigan Department of Natural Resources, and that the Lapeer County Board of Commissioners, does hereby specifically agree, but not by way of limitation, as follows:

1. To make available all funds necessary to complete the project during the project period and to provide a local match through a financial commitment and donation of eleven thousand four hundred and ninety-two (\$11,492.00) dollars to match the grant authorized by the DEPARTMENT.
2. To maintain satisfactory financial accounts, documents, and records to make them available to the DEPARTMENT for auditing at reasonable times in perpetuity.
3. To construct the project and provide such funds, services, and materials as may be necessary to satisfy the terms of said Agreement.
4. To regulate the use of the facility constructed and reserved under this Agreement to assure the use thereof by the public on equal and reasonable terms.
5. To comply with any and all terms of said Agreement including all terms not specifically set forth in the foregoing portions of this Resolution."

Roll Call vote: Zender, aye; Hamilton, aye; Howell, aye; Knisely, aye; Mast, aye; Haggadone, aye; Kohlman, aye. 7 ayes. Motion carried unanimously.

125-2023

Motion by Haggadone, supported by Hamilton, to approve the submitted Independent Contractor Agreement for the Managed Assigned Counsel Administrator between the County of Lapeer and Attorney Kayleen Hendler, for the County's Indigent Defense Program, effective the partial term of May 1, 2023 through September 30, 2023, which is the term of the current grant; and further, to authorize the Interim County Controller and Chairman to sign said agreement. Motion carried.

126-2023

Motion by Zender, supported by Mast, to have the Household Hazardous Waste Fall event on the April 27, 2023 Regular Board Meeting Agenda. Motion carried.

127-2023

Motion by Knisley, supported by Hamilton, to adopt the 2023 Lapeer County Equalization Report as presented; and further, to authorize the Chair/Vice-Chair and County Clerk to sign the L-4024 and L-4037C's to be submitted to the State of Michigan. Motion carried.

128-2023

Motion by Haggadone, supported by Hamilton, to authorize the Interim County Controller/Administrator to execute the time-sensitive settlement documents electronically in the National Prescription Opiate Litigation in order to participate in the relevant Teva, Allergan, CVS, Walmart and Walgreens Opioid Settlement; and further, to authorize the Finance Department to deposit the settlement revenue into Fund 284, to be used for Opioid Prevention Services. Motion carried.

129-2023

Motion by Mast, supported by Haggadone, to authorize District Court to hire a former employee for the Court Clerk I position (#78, PG 14, previously authorized in BOC Motion #65-2023) at the Step 2 rate of \$20.20, due to the candidate's previous 14 years of extensive experience and knowledge of the Department and based on the signed Letter of Understanding with the Teamsters Local 214, at no additional cost to the County's General Fund. Motion carried.

130-2023

Motion by Mast, supported by Zender, to amend the Table of Organization for Community Mental Health to add two additional full-time Master Level Clinician positions (#TBD, Pay Grade 21) in order to fulfill the requirements of the MI Kids Now Mobile Response Program Grant, to be paid with grant funding, at no additional cost to the County's General Fund. Motion carried.

131-2023

Motion by Mast, supported by Zender, to authorize Community Mental Health to reclassify the Adult Services Clinical Director position to the new Chief Clinical Officer position (#TBD, both Pay Grade 25), at no additional cost to the County's General Fund nor Community Mental Health's budget, and further, to approve the revised job description for the new Chief Clinical Officer position, as submitted. Motion carried.

132-2023

Motion by Mast, supported by Haggadone, to amend the Table of Organization for Community Mental Health to eliminate one full-time Master Level Supervisor position (#545, Pay Grade 23, in the Adult Case Management Department) and to add one additional Bachelor Level Supervisor position (#TBD, Pay Grade 21, in the Adult Case Management Department), at no additional cost to the County's General Fund nor Community Mental Health's budget. Motion carried.

133-2023

Motion by Mast, supported by Haggadone, to amend the Table of Organization for Community Mental Health to eliminate one vacant full-time Clinical Services Director position (#629, Pay Grade 25, in the Children's Department), and to add one additional full-time Bachelor Level Supervisor position (#TBD, Pay Grade 21, in the Children's Case Management Department), at no additional cost to the County's General Fund nor Community Mental Health's budget. Motion carried.

134-2023

Motion by Mast, supported by Knisely, to amend the Table of Organization for Community Mental Health to eliminate one vacant full-time Paraprofessional position (#596, Pay Grade 14, in the Stepping Stone Program) and to create/add one full-time Paraprofessional Coordinator position (#TBD, Pay Grade 15, in the Stepping Stone Program), at no additional cost to the County's General Fund; and further, to approved the revised job description for the new Paraprofessional Coordinator position, as submitted. Motion carried.

135-2023

Motion by Zender, supported by Knisely, to approve Building & Grounds request to sell items no longer needed or used by various County Departments at public auction, at no additional cost to the County General Fund. Motion carried.

136-2023

Motion by Zender, supported by Howell, to proceed with the remodel of office space by Prather Construction and Jacks Heating and Cooling to be paid from 911 millage account 482-325-977.000 for a cost not to exceed \$20,000.00. Motion carried.

137-2023

Motion by Knisely, supported by Mast, pursuant to the recommendation of the American Rescue Plan Act Committee (ARPA), to authorize the Administration and Sheriff's Department to prepare and release an RFP (Request for Proposal) related to a new camera system for the County Jail, and to bring back the results for consideration by the American Rescue Plan Act Committee (ARPA), and review and discuss potential grant funding through Michigan Municipal Risk Management Authority. Motion carried.

138-2023

Motion by Knisely, supported by Haggadone, pursuant to the recommendation of the American Rescue Plan Act Committee (ARPA), to authorize the Building & Grounds/Parks Department to accept the low bid and proceed with contracting with Wigen Ticknell Meyer (WTM) Architects for architectural and aquatic design and engineering services for the re-development of Torzewski County Park, at a cost not to exceed \$219,450.00 (\$199,500 plus 10% contingency), to be paid from Fund 281 (expense category 2.11). Motion carried.

139-2023

Motion by Hamilton, supported by Zender, to enter into the record the County's Audit Motions for April 7th & 21st, 2023, and also the Road Commission Audit Motion for disbursements dated April 6, 2023. Roll Call vote: Hamilton, aye; Howell, aye; Knisely, aye; Mast, aye; Zender, aye; Haggadone, aye; Kohlman, aye. 7 ayes. Motion carried unanimously.

140-2023

Motion by Zender, supported by Hamilton, to use the same plan from last year to hold a Household Hazardous Waste Collection, and to coordinate with the Company to set a date for the event. Motion carried.

Thumb Area Regional Community Corrections Advisory Board

141-2023

Motion by Howell, supported by Mast, to re-appoint Mike Slater, and Philip Fulks, to serve on the Thumb Area Regional Community Corrections Advisory Board, for a two-year term ending March 1, 2025. Motion carried.

Emergency Management Advisory Council

142-2023

Motion by Hamilton, supported by Zender to re-appoint Jeff Satkowski, to serve on the Emergency Management Advisory Council, for an unexpired term ending December 31, 2023. Motion carried.

Friends of the Historic Courthouse Committee

143-2023

Motion by Haggadone, supported by Hamilton, to appoint Jackie Arnold, to serve on the Friends of the Historic Courthouse Committee, for an unexpired term ending October 14, 2024. Motion carried.

144-2023

Motion by Haggadone, supported by Hamilton, to adopt the following Resolution:

RESOLUTION - #2023-R05

WHEREAS, Elijah Anglebrandt, son of Todd and Jennifer Anglebrandt, is a member of Boy Scout Troop 137 in Lapeer, and began as a Tiger Scout eleven years ago, and has now received the highest rank in the Boy Scouts of America by being awarded the Eagle Scout Award after earning 41 merit badges two bronze, one gold, and one silver eagle palm; and,

WHEREAS, Elijah Anglebrandt has held various leadership positions within the troop, including Junior Assistant Scoutmaster, Senior Patrol Leader, Assistant Senior Patrol Leader, Quartermaster, and Patrol Leader; and,

WHEREAS, Elijah Anglebrandt served as the Governor's Honor Guard on Mackinac Island as part of the Mackinac Service Troop 127 in 2019, raising and lowering the flag at the Governor's Summer Residence; and,

WHEREAS, Elijah Anglebrandt diligently worked on his Eagle Scout project at the Christian Youth Organization camp in Port Sanilac prepping the cabins for new windows and repairing dilapidated picnic tables; and,

WHEREAS, Elijah Anglebrandt, is a junior at Lapeer High School and also attends Ed Tech, Class of 2024, and plans to go into his 13th year taking courses through Mott and Ferris State with the intention of receiving an associated degree in Electronics and Electrical Technologies and a certificate in Electrical Technologies for Apprentice Electricians; and,

(Resolution continued)

WHEREAS, Elijah Anglebrandt has completed the requirements for, and after having been reviewed by the Eagle Scout Board of Review, was found to be worthy of the rank of Eagle Scout and will be honored at a special Eagle Scout Court of Honor on May 20, 2023 at St. Paul Lutheran Church in Lapeer, Michigan.

NOW, THEREFORE, BE IT RESOLVED, that this Board of Commissioners of Lapeer County, Michigan, congratulates **Elijah Anglebrandt** on attaining the prestigious rank of Eagle Scout and wishes him well in his future endeavors.

Roll Call vote: Haggadone, aye; Knisely, aye; Mast, aye; Zender, aye; Hamilton, aye; Howell, aye; Kohlman, aye. 7 ayes. Motion carried unanimously.

Chris Greene Hutchings, of Merritt gave the Broadband Presentation related to the Moonshot Survey Results. Lengthy discussion followed.

*Commissioner Mast was excused. 10:54 a.m. to 10:59 a.m.

**Commissioner Haggadone was excused. 11:29 a.m.

***Commissioner Howell was excused. 11:47 a.m.

145-2023

Motion by Zender, supported by Knisely, to refer the Re-Roofing project for the Community Mental Health Building to the May 11, 2023 Committee of the Whole Meeting, with authority to act. Motion carried.

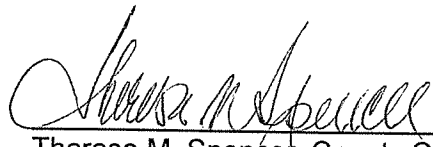
Public Time – Four people spoke during public time.

The Commissioners made statements regarding Public Time Comments, and gave brief reports on meetings and conferences that they have recently attended, as well as upcoming meetings and events.

146-2023

Motion by Zender, supported by Knisely, to adjourn the meeting. Noon.

Tom Kohlman, Chairman
Board of Commissioners



Theresa M. Spencer, County Clerk
Clerk of the Board

**LAPEER COUNTY BOARD OF COMMISSIONERS
SPECIAL BOARD MEETING
May 18 2023
9:00 A.M.**

Chairman Kohlman called the special meeting to order at 9:00 a.m. in the Commission Chambers on the lower level of the County Complex Building. Commissioner Haggadone opened the meeting with prayer. The Pledge of Allegiance was recited.

Present:	Tom Kohlman	District #1
	Gary Howell	District #2
	Kevin Knisely	District #3
	Brad Haggadone	District #4
	Truman Mast	District #5
	William Hamilton	District #6
	Bryan Zender	District #7

AGENDA

The agenda of the Special Board Meeting was reviewed.

147 -23

Motion by Zender, supported by Haggadone, to amend the Agenda to place the Public Time portion of the Agenda at the beginning of the meeting, and approve the agenda with the deletion of a closed session. Motion carried.

PUBLIC TIME – No comments received

The process of conducting interviews of the candidates for Lapeer County Controller/Administrator commenced as follows:

Deanna Cushing: 9:02 a.m.-9:50 a.m.;
Moses Sanzo: 9:53 a.m.-10:30 a.m.;

The Commissioners took a break: 10:33 a.m.
The meeting resumed at 10:41 a.m.

The process of conducting interviews of the candidates for Lapeer County Controller/Administrator continued as follows:

Jacqueline Arnold: 10:41 a.m.-11:25 a.m.

148-23

Motion by Zender, supported by Knisely, to recess the meeting at 11:25 a.m. and reconvene at 12:00 p.m. Motion carried.

Chairman Kohlman reconvened the meeting at 12:02 p.m. All Commissioners present.

The process of conducting interviews of the candidates for Lapeer County Controller/Administrator continued as follows:

Dana Miller: 12:02 p.m.-12:53 p.m.

Adam Kline: 12:54 p.m.-1:25 p.m.

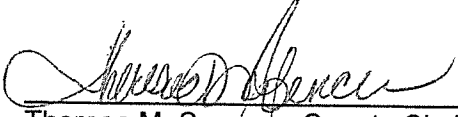
149-23

Motion by Haggadone, supported by Zender, to hold a Special Meeting on Wednesday, May 24, 2023, at 4:00 p.m. to discuss the position of Lapeer County Controller/Administrator. Motion carried

150-23

Motion by Zender, supported by Haggadone, to adjourn the meeting. Motion carried. 1:28 p.m.

Tom Kohlman, Chairman
Board of Commissioners



Theresa M. Spencer, County Clerk
Clerk of the Board

**DRAFT MOTIONS FROM THE
May 11, 2023
Committee of the Whole Meeting**

1. Motion by Zender, supported by Haggadone, to recommend to the Full Board, to approve the Fiscal Year 2024 Community Corrections Grant, for the period of October 1, 2023 through September 30, 2024, for the proposed award amount of \$342,520.00. Motion carried.

2. Motion by Haggadone, supported by Knisely, to recommend to the Full Board, to accept the Region 10 Prepaid Inpatient Health Plan (PIHP) Prevention Services Contract Amendment #8 for a total of \$25,900.00; and further, to authorize the Chair/Vice-Chair to sign said amendment. Motion carried.

3. Motion by Howell, supported by Hamilton, to recommend to the Full Board, to authorize payment to Shifman Fournier, in the amount of \$1,800.00, for labor related legal services rendered through April 30, 2023, to be paid from line item 101-239-801.020. Motion carried.

4. Motion by , supported by , pursuant to motion 145-2023 of the April 27, 2023 Regular Board Meeting, giving the Committee of the Whole the authority to act, to enter into the official record the following action taken at the May 11, 2023 meeting of the Committee of the Whole:

“Motion by Zender, supported by Knisely, to award the Community Mental Health Re-Roofing Project to Family Building Company of Lapeer in accordance with their proposal dated April 26, 2023, in the amount of \$164,000.00, and to authorize an additional contingency of \$10,000.00, to be paid from the Capital improvement fund, based on the sealed bid process and recommendation of H2A Architects. Motion carried.”

Motion carried.

Draft Motions from the Committee of the Whole Continued

5. Motion by Zender, supported by Haggadone, to recommend to the Full Board, to adopt the following Resolution for the Village of Otter Lake to participate in the Genesee County Community Development to promote the improvement of housing and neighborhood conditions:

RESOLUTION # 2023-R06

WHEREAS, the Village of Otter Lake, Michigan, wishes to be a participating local government in the Urban County Community Development Block Grant Entitlement Program of Genesee County, Michigan, under Title I of the Housing and Community Development Act of 1974, as amended; and,

WHEREAS, The Village of Otter Lake is physically divided between Lapeer County, Michigan, and Genesee County, Michigan; and,

WHEREAS, said Housing and Community Development Act permits a local government which is physically divided between two county governments to include its entire population and geographic area within one county for the purpose of participating in said county's Community Development under Title I of said Housing and Community Act; and,

WHEREAS, the Village of Otter Lake wishes to include its entire population and geographic area in the Genesee County Community Development Program; and,

WHEREAS, Lapeer County is being requested to approve a Cooperative Agreement between the Village of Otter Lake and Genesee County which would permit the Village of Otter Lake to include the entire village in its participation in the Genesee County Community Development Program; and,

WHEREAS, said full participation by the Village of Otter Lake would promote the improvement of housing and neighborhood conditions in said village.

NOW, THEREFORE, BE IT RESOLVED, that the Lapeer County Board of Commissioners approves of the continued participation of the Lapeer County portion of the Village of Otter Lake in the Genesee Community Development Program for fiscal years 2024 – 2026; and further, to authorize the Chairman of the Lapeer County Board of Commissioners to approve the Cooperative Agreement which provides for participation of the Village of Otter Lake in the Genesee County Community Development Program.

Roll Call vote:

6. Motion by Hamilton, supported by Haggadone, to hold a Special Meeting on Thursday, May 18, 2023 at 9:00 a.m. for the purpose of interviewing and discussion of candidates for the position of County Controller/Administrator. Motion carried.

**DRAFT MOTIONS FROM THE
May 11, 2023
Committee of the Whole Meeting**

1. Motion by Zender, supported by Haggadone, to recommend to the Full Board, to approve the Fiscal Year 2024 Community Corrections Grant, for the period of October 1, 2023 through September 30, 2024, for the proposed award amount of \$342,520.00. Motion carried.

2. Motion by Haggadone, supported by Knisely, to recommend to the Full Board, to accept the Region 10 Prepaid Inpatient Health Plan (PIHP) Prevention Services Contract Amendment #8 for a total of \$25,900.00; and further, to authorize the Chair/Vice-Chair to sign said amendment. Motion carried.

3. Motion by Howell, supported by Hamilton, to recommend to the Full Board, to authorize payment to Shifman Fournier, in the amount of \$1,800.00, for labor related legal services rendered through April 30, 2023, to be paid from line item 101-239-801.020. Motion carried.

4. Motion by , supported by , pursuant to motion 145-2023 of the April 27, 2023 Regular Board Meeting, giving the Committee of the Whole the authority to act, to enter into the official record the following action taken at the May 11, 2023 meeting of the Committee of the Whole:

“Motion by Zender, supported by Knisely, to award the Community Mental Health Re-Roofing Project to Family Building Company of Lapeer in accordance with their proposal dated April 26, 2023, in the amount of \$164,000.00, and to authorize an additional contingency of \$10,000.00, to be paid from the Capital improvement fund, based on the sealed bid process and recommendation of H2A Architects. Motion carried.”

Motion carried.

Draft Motions from the Committee of the Whole Continued

5. Motion by Zender, supported by Haggadone, to recommend to the Full Board, to adopt the following Resolution for the Village of Otter Lake to participate in the Genesee County Community Development to promote the improvement of housing and neighborhood conditions:

RESOLUTION # 2023-R06

WHEREAS, the Village of Otter Lake, Michigan, wishes to be a participating local government in the Urban County Community Development Block Grant Entitlement Program of Genesee County, Michigan, under Title I of the Housing and Community Development Act of 1974, as amended; and,

WHEREAS, The Village of Otter Lake is physically divided between Lapeer County, Michigan, and Genesee County, Michigan; and,

WHEREAS, said Housing and Community Development Act permits a local government which is physically divided between two county governments to include its entire population and geographic area within one county for the purpose of participating in said county's Community Development under Title I of said Housing and Community Act; and,

WHEREAS, the Village of Otter Lake wishes to include its entire population and geographic area in the Genesee County Community Development Program; and,

WHEREAS, Lapeer County is being requested to approve a Cooperative Agreement between the Village of Otter Lake and Genesee County which would permit the Village of Otter Lake to include the entire village in its participation in the Genesee County Community Development Program; and,

WHEREAS, said full participation by the Village of Otter Lake would promote the improvement of housing and neighborhood conditions in said village.

NOW, THEREFORE, BE IT RESOLVED, that the Lapeer County Board of Commissioners approves of the continued participation of the Lapeer County portion of the Village of Otter Lake in the Genesee Community Development Program for fiscal years 2024 – 2026; and further, to authorize the Chairman of the Lapeer County Board of Commissioners to approve the Cooperative Agreement which provides for participation of the Village of Otter Lake in the Genesee County Community Development Program.

Roll Call vote:

6. Motion by Hamilton, supported by Haggadone, to hold a Special Meeting on Thursday, May 18, 2023 at 9:00 a.m. for the purpose of interviewing and discussion of candidates for the position of County Controller/Administrator. Motion carried.

PROPOSED DRAFT PERSONNEL MOTIONS
FROM THE MAY 11, 2023
PERSONNEL COMMITTEE MEETING

- 1. Motion by Haggadone, supported by Zender, pursuant to the recommendation of the Personnel Committee, to authorize the Prosecuting Attorney to hire a temporary summer Legal Intern from the Prosecuting Attorney Association of Michigan from May 22 through September 1st at a cost of \$9,600, to be paid from the Prosecutor's budget, at no additional cost to the County's General Fund. Motion carried unanimously.**

- 2. Motion by Haggadone, supported by Zender, pursuant to the recommendation of the Personnel Committee, to amend the Table of Organization for the County Clerk's Office to add one additional full-time Court Clerk I position (#TBD, pay grade 14, Circuit Court Division), due to additional duties responsibilities, to be paid by General Fund, with the request that the County Clerk and Finance Departments get together to prepare the appropriate budget amendment related to the new position. Motion carried unanimously. *(note: completed and attached)***

**LAPEER COUNTY
BUDGET AMENDMENT FORM**

FUND NAME : General Fund- Clerks
ORIGINATOR: Jacky Bennett

RECEIVED : _____
REVIEWED : _____
FORWARDED: _____
RETURNED : _____

ACCOUNT NUMBERS			DESCRIPTION	ORIGINAL BUDGET	PRIOR AMENDED BUDGET	REQUEST BUDGET INCREASE	REQUEST BUDGET DECREASE	NEW AMENDED BUDGET
FUND	ACTIVITY	ACCOUNT						
101	215	704 . 000	Salary Employees	305,574.26		25,000.00		330,574.26
101	215	714 . 000	Medicare	6,727.00		362.00		7,089.00
101	215	715 . 000	Social Security	28,761.00		1,550.00		30,311.00
101	215	716 . 000	Medical, Dental, Vis	136,620.00		5,060.00		141,680.00
101	215	717 . 000	Life Insurance	702.00		26.00		728.00
101	215	718 . 000	Retirement	60,776.00		3,500.00		64,276.00
101	215	723 . 000	PEHB	2,880.00		120.00		3,000.00
101	100	700 . 100	Contingencies	1,303,926.72			35,618.00	1,268,308.72
		.						-
		.						-
				1,845,966.98		35,618.00	35,618.00	1,845,966.98

ALL BUDGET AMENDMENT REQUESTS MUST BALANCE!!!

DEPT. HEAD: _____

MOTION#: _____

COMPUTER ENTRY BY: _____

DATE ENTERED : _____

DRAFT PROPOSED MOTIONS
FROM THE
May 11, 2023
PROPERTIES COMMITTEE MEETING

1. **Motion by Bustle, supported by Knisley, to recommend to the Full Board for CMH to purchase a shed for Harmony Hall at a cost not to exceed \$9,206.00 to be paid by CMH funding, at no additional cost to the County General Fund. 3 ayes, 1 abstained, Motion carried.**

PROPOSED DRAFT MOTIONS
FROM THE
MAY 11, 2023
ARPA COMMITTEE MEETING

- 1. Motion by Zender, supported by Kohlman, pursuant to the recommendation of the ARPA Committee, to accept and award the bid from Frank Rewold and Sons Inc for Construction Manager At-Risk Services for the Redevelopment of Torzewski County Park Project, at a cost of \$20,000, for pre-construction services, to be paid from Fund 281 (expense category 2.11). Motion carried unanimously.**

- 2. Motion by Zender, supported by Kohlman, pursuant to the recommendation of the ARPA Committee, to authorize the Continuation of Services Amendment Agreement with H2A Architects for Torzewski County Park in the amount of \$14,900 and General Squier Park (excluding Forrest Hall) in the amount of \$14,900, which will include preparation of bid documents, bid assistance, and construction administration services, to be paid from Fund 281 (expense category 2.11). Motion carried unanimously.**

3A

LAPEER COUNTY PARKS AND RECREATION
TORZEWSKI PARK
CONSTRUCION MANAGER AT-RISK SERVICES

From: John Bustle, Director

Date: MAY 8, 2023

Lapeer County Parks and Recreation Department (is recommending Frank Rewold and Sons Inc (FRW) for CONSTRUCION MANAGER AT-RISK SERVICES for the re-development of Torzewski Park, 2051 Pero Lake Road, Lapeer, Michigan 48446.

An RFP was developed with assistance from ROWE Professional Services and issued on April 17, 2023. The RFP was posted on the county website and sent to 20 pre-qualified firms. Two site meetings were held to address bidder questions and explain the intent of the project.

A single response was received on April 21, 2023 by FRW. FRW had attended the pre-bid site meeting and meets the qualifications listed in the RFP.. ROWE has worked indirectly with FRW through their work with Oakland County Parks and has checked references.

Based on this review, staff is providing this recommendation of award to FRW. **Staff requests approval of \$20,000** for pre-construction services along with the WTA design team to develop a Guaranteed Maximum Price (GMP) for the construction cost of the project.

The approach includes three phases: preliminary design, final design, and construction administration. The initial preliminary design phase will be used to confirm the project scope and anticipated construction cost.

Based on the proposed design and GMP, the county would be presented with a proposal to have FRW proceed with construction management services to construct the project.

The design phase is expected to be completed in six months; construction to be in the 2024 season.

ROWE Professional Services Company will act as owners representative and provide civil engineering design and construction staking.



CONTACT:

Adam Gut
Executive/Vice President
Frank Rewold & Sons Inc.
248.310.0805 | agut@frankrewold.com

DUE: APRIL 21, 2023 AT 5:00PM

CMAR RFP RESPONSE:

**TORZEWSKI WATER PARK
CONSTRUCTION MANAGER AT-RISK SERVICES**

FRANK REWOLD & SONS INC.

Construction Manager | General Contractor | Property Manager
303 E. Third Street | Suite 300 | Rochester, MI 48307 | 248.651.7242 | frankrewold.com



@frankrewoldsons



April 21, 2022

John Bustle
Building & Grounds/Parks Director
255 Clay Street
Lapeer, MI 48446

RE: Torzewski Water Park, Construction Manager At-Risk Services

Dear John:

Frank Rewold & Sons (FRS) is highly interested in providing Construction Management At-Risk (CMAR) services for the Lapeer County, Torzewski Water Park project.

Since 1918, FRS has built an extensive portfolio of projects with similar construction scopes. We have had a construction management services contract agreement with Oakland County for nearly 15 years. In fact, we recently completed water park ground assessments for the cities of Waterford and Madison Heights.

In addition to receiving an experienced construction manager, Lapeer County will also benefit from our:

- Extensive preconstruction efforts
- Long lead item procurement strategies
- Pool and aquatics expertise
- Concession and washroom reconstruction experience
- 105 Year history with zero lawsuits
- Site safety and cleanliness

Please let me know if you have any questions or are in need of any clarifications. I can be reached at 248.310.0805 or agut@frankrewold.com. This project fits a strong niche or ours, and our intent is to make a splash!

Sincerely,

FRANK REWOLD & SONS

Adam Gut
Executive/Vice President

FRANK REWOLD & SONS INC.

Construction Manager | General Contractor | Property Manager
303 E. Third Street | Suite 300 | Rochester, MI 48307 | 248.651.7242 | frankrewold.com



SECTION 1: RFP RESPONSE

7. Provide proposed fee in percentages or lump sum for the following (see Bid Form attached):
- a. Pre-construction Services to develop a Guaranteed Maximum Price (GMP).
 - b. General Conditions including on-site management, temporary structures, insurance costs, office expenses, and other overhead costs.
 - c. Construction management.
 - d. Bond costs.
 - e. Worker's compensation experience modifier.

BID FORM (example) – TORZEWSKI WATER-PARK
CONSTRUCTION MANAGER AT-RISK SERVICES

Pre-construction Services to develop a GMP	\$ <u>\$20,000</u> , lump sum
General Conditions including on-site management, temporary structures, insurance costs, office expenses, and other overhead costs.	<u>See breakdown on following page</u>
Construction management	\$ _____ , or <u>3.2%</u> %
Bond costs	<u>1.1% of total construction value</u>
Worker's compensation experience modifier	<u>EMR- .69</u>
TOTAL	<u>See percentages above and costs on following page.</u>

Frank Rewold & Sons Inc.

Firm Name

Adam Gut, agut@frankrewold.com, 248.310.0805

Contact: Address, Email, Phone Number

Frank Rewold & Sons Inc.

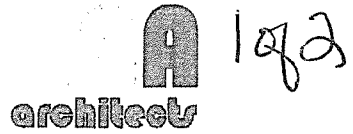
Owner Name


Owner Signature

4/21/2023

Date

3B



CONTRACT MODIFICATION

Modification # 1

AMENDMENT TO THE PROFESSIONAL SERVICES AGREEMENT LETTER

Date: May 5, 2023

OWNER: Lapeer County
John Bustle
255 Clay Street
Lapeer, MI 48446

PROJECT NAME: Torzewski Park Building Improvements (excluding Pool Buildings)
Continuation of Services- Scope per the Assessment

ARCHITECT: H2A Architects Inc.
9100 Lapeer Road
Suite B
Davison MI 48423

Date of Original Agreement: March 9, 2023

Scope of Service Change

The Owner and the Architect agree to the following changes in scope:

Continuation of Services:

- Bidding Documents including specifications and building diagrams.
- Bid Assistance for solicitation and contract award.
- Construction Administration abbreviated, pre-construction meeting, 50% review, construction issue assistance, change orders, punch list & project close-out.

The Architects Compensation and Schedule shall change as follows:

Compensation adjustment: **Additional Hourly Services, estimated add \$14,900.00**

Schedule adjustment: **Schedule shall be increased by 30 days to July 9, 2023.**

Accepted by:

Client

Date

H2A Architects:

Jacqueline Hoist, AIA Project Manager

Z:\Bd\Lapeer County Parks\Torzewski Park Buildings\Contract Modification - Continuation of Services (except Pool buildings).docx



General Provisions

Insurance: Our insurance certificate describing our insurance limits is available upon request.

Project and fee changes:

- If the project scope changes from the above description, our fee may need to be revised
- Additional requested services will be billed at our hourly rates until the extent of extra work is determined.
- If the project is cancelled for any reason during the design or construction document phase, work completed to date will be billed at hourly rates.
- Fee changes shall be approved in writing by the Owner before proceeding.

Monthly Invoices: Invoices will be submitted for the proportion of the total services actually completed and will be billed at project completion or the end of each month for ongoing services. Invoices are due within 21 days of Owners receipt of invoice.

Construction: Our firm(s) do not have control or charge of, and shall not be responsible for, construction means, methods, techniques, sequences or procedures, or for safety precautions and programs, all in connection with the new construction, modifications or repairs.

Indemnification: Our firm(s) agrees, to the fullest extent permitted by law, to indemnify and hold the Owner harmless from any damage, liability or cost (including reasonable attorneys' fees and costs of defense) to the extent caused by our negligent acts, errors or omissions in the performance of professional service under this Agreement and those of his or her sub-consultants, or anyone for whom the firm(s) are legally liable.

Either party may terminate this Agreement for cause upon giving the other party not less than seven (7) calendar day's written notice for any of the following reasons:

- Substantial failure by the other party to perform in accordance with the terms of this Agreement and through no fault of the terminating party;
- Assignment of this Agreement or transfer of the Project by either party to another entity without prior written consent of the other party;
- Suspension of the Project or the Consultant's services by the Client for more than ninety (90) calendar days, consecutive or in the aggregate;
- Material changes in the conditions under which this Agreement was entered into, the Scope of Services or the nature of the Project, and the failure of the parties to reach agreement on the compensation and schedule adjustments necessitated by such changes.

The Owner agrees, to the fullest extent permitted by law, to indemnify and hold harmless from any damage, liability or cost (including reasonable attorneys' fees and costs of defense) to the extent caused by the Owners negligent acts, errors or omissions and those of his or her contractors, sub-contractors or consultants or anyone for whom the Owner is legally liable, and arising from the project that is the subject of this Agreement.

Limits of Liability: In recognition of the relative risks and benefits of the Project to both the Owner and H2A Architects, the risks have been allocated such that the Owner agrees, to the fullest extent permitted by law, to limit the liability of H2A Architects and their officers, employees, Owners and subconsultant for any and all claims, losses, costs damages of any nature whatsoever or claims expenses from any cause or causes, including attorneys' fees and costs and expert-witness fees and costs, so that the total aggregate liability of H2A Architects and their officers, employees, Owners and subconsultants shall not exceed the total fee for their services rendered on this Project, whichever is greater. It is intended that this limitation apply to any and all liability or causes of action however alleged or arising, unless otherwise prohibited by law.

It is further understood and agreed that if the Client declines H2A's or any of the Consultant's recommendations for inspections and testing, the Client will assume all responsibility for these elements



and the Client will waive any claims against H2A or their Consultants that may be in any way connected thereto.

Use of Existing Documents: In consideration of the risks and rewards involved in this Project, the Owner agrees that any existing documents, surveys, drawings, documentation of the existing built site and facilities, provided to H2A by the Owner or by the prior consultants of the Owner, may be relied upon as to their accuracy and completeness without independent investigation by H2A and their consultants.

It is further understood and agreed that if the Client declines H2A's or any of the Consultant's recommendations for inspections and testing, the Client will assume all responsibility for these elements and the Client will waive any claims against H2A or their Consultants that may be in any way connected thereto.

It is understood and agreed that H2A's scope of services under this agreement is limited to visible assessment of the conditions from the ground, with no destructive measures. Inasmuch as the remodeling and/or rehabilitation of the existing structure requires that certain assumptions be made by H2A and their Consultants regarding existing conditions, and because some of these assumptions may not be verifiable without the Client's expenditure of sums of money or destroying otherwise adequate or serviceable portions of the building, the Client agrees to bear all costs, losses and expenses, including the cost of H2A's additional services, arising from the discovery of concealed or unknown conditions in the existing building.

All building codes are subject to interpretations, H2A will provide guidance for the Client's project development based on their professional opinion of the building code. This does not constitute a guarantee that the building official will accept the interpretation at submission for plan review or any other time during the construction of the project. The Client will be required to comply with the interpretation of the building official or appeal the decisions through the process established by the building code. While H2A may assist the Client during this process it is considered an extra service.

Under the scope of services for this proposal, and unless specifically excluded by the Owner, H2A shall visit the site at **limited key intervals, pre-construction, 50% and 100%**, to observe the construction to become familiar with the progress and quality of the work, and to determine, in general, that the work is in compliance with the Contract Documents. H2A shall not be required to make exhaustive or continuous on-site inspections. H2A shall also review and certify (if appropriate), that the Contractor's pay requests, to the best of their knowledge, is appropriate to the amount of work in place. H2A shall review the Contractor's key product submissions for compliance with the contract documents. Where changes are either desired by the Owner or required by construction conditions, H2A shall prepare bulletins to obtain contractor pricing, and prepare change orders for the work for the Owners approval and execution as part of the Contract Document. Upon the Contractor's notice of completion, H2A shall make inspection of the work to determine the date of Substantial Completion and make a list of any items that are not completed in accordance with the Contract Documents. H2A shall provide the Contract and the Owner with copies of the Certificate of Substantial Completion, along with the list of the non-satisfactory items to be addressed. If additional scopes of services are added to the scope of work during the construction phase, this Agreement shall be amended to provide additional compensation to be paid to H2A for performing such services.

Drawings, diagrams, specifications and other documents prepared by the Architect for the Owner's use solely with respect to this Project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Should this agreement be terminated the Owner's right to use these documents shall cease unless specifically granted in writing by the Architect.

If H2A receives verbal or email approval to proceed, and begins work on the project, it will be considered the same as signing this agreement unless other provisions have been agreed upon in writing.

Our firm(s) is not obligated to indemnify the Owner in any manner whatsoever for the Owner's own negligence.

Z:\Bd\Lapeer County Parks\Torzewski Park Buildings\Revised General Conditions for Continuation of Services with CA.docx



**Lapeer County – Torzewski Park
Assessment
5-5-2023**

In spring of 2023, an assessment was conducted by Jackie Hoist and Aaron Wawrzyniak, from H2A Architects. Accompanying were John Bustle, Rich Bayley, and Jillian Weiss, from Lapeer County. Limited destructive means were used to observe conditions and no testing was involved. No structural, mechanical, or electrical engineers were present. Accessibility to public buildings was considered in the assessment, however building interiors were not part of the scope of work. The opinions expressed in these observations are based upon professional experience with similar projects.

Torzewski Park was dedicated in the memory of Frances and Ludwig Torzewski for public park purposes and opened in 1986. Most of the buildings at the park were constructed at that time.

The park includes 11 buildings excluding the buildings related to the pool. The pool-related buildings are part of a separate project being undertaken at this time.

The buildings in the park are in **fair to poor** condition.

Fair – Materials or conditions neither benefit nor detract from the appearance or suitability of the facility and should have a useful remaining life span.

Poor – Material or condition is usually deteriorated or detrimental to the appearance or suitability of the facility. Repair is required or advisable, as soon as possible.

Structures are wood framing, with asphalt shingle roofs, and painted wood siding. The paint requires regular attention. Wood siding materials exhibit needed maintenance with rot and numerous holes wildlife have chewed. The roofs were recently replaced. The buildings would benefit from metal siding, fascia, and soffits. Wood rot should be addressed, concrete replaced where damaged, and many doors and windows need attention.

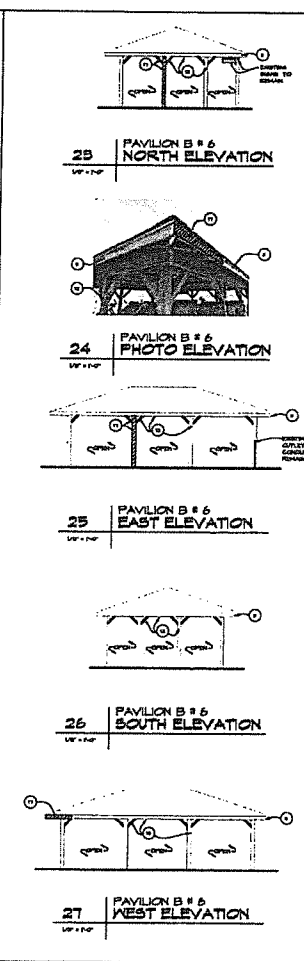
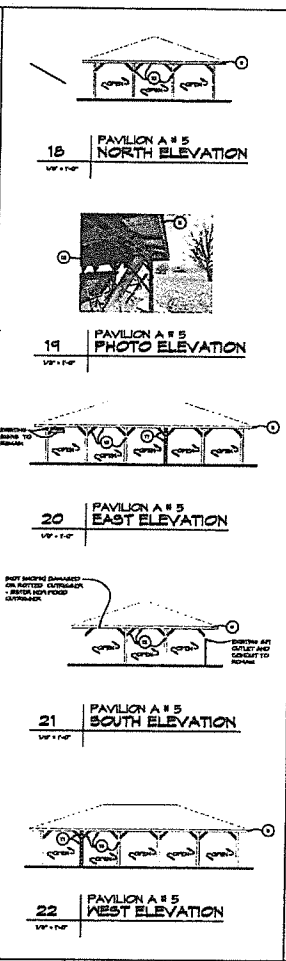
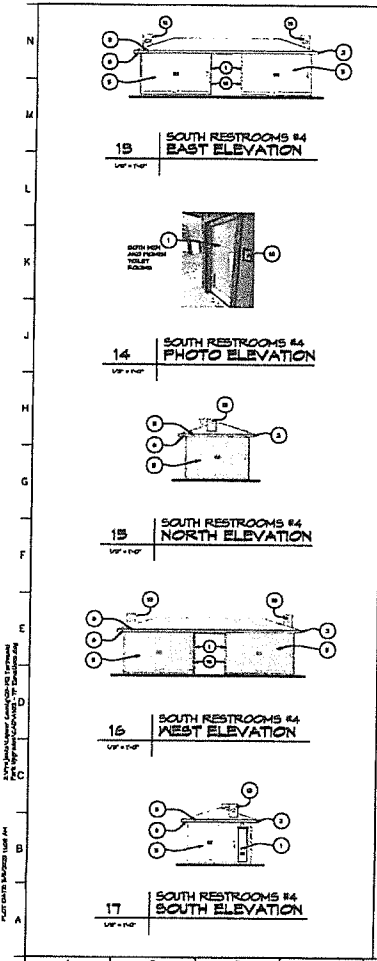
The Amphitheater is one of the most prominent buildings and requires the most significant amount of physical change to provide accessibility to all users including those with physical disabilities.

The restroom buildings were all built under an older design criterion for accessibility. Alteration of these restrooms for greater accessibility to the restroom entry was considered where technically feasible. It is understood that the renovations planned for the pool-related buildings will be extensive and include accessible facilities meeting today's standards.

It is our recommendation that the work scope in this assessment be undertaken as soon as possible. Assessment summary and diagrams are attached.

Lapeer County Parks - Torzewski
 Building Assessments May 2023

		IMPROVEMENTS / UPGRADES														
		Gutters	Alum Wrap Fascia	Masonry - Repointing and/or Parging	Carpentry - replace rotted components	Metal Siding	Metal Soffit	Doors - Overhead	Doors - Standard	Windows	Paint/Stain	Signage	Exterior Lighting Replacement	ADA Ramp	Porch Revisions	Skirt
TORZEWSKI	1	Office/Maintenance	✓	✓		✓	✓	✓	✓	✓	✓	✓	✓			
	2	Cold Storage	✓	✓		✓	✓	✓	✓							
	3	Entry Booth		✓	✓	✓	✓	✓	✓	✓						
	4	West Restroom	✓	✓		✓	✓	✓	✓	✓	✓	✓				
	5	Pavilion A		✓	✓		✓	✓		✓	✓	✓	✓			
	6	Pavilion B		✓		✓					✓					
	7	Lake Building		✓		✓	✓				✓					
	8	Amphitheater		✓		✓	✓			✓	✓			✓	✓	✓
	9	North Restroom	✓	✓		✓	✓		✓		✓	✓				
	10	Pavilion C		✓	✓						✓					
	11	Pavilion D		✓							✓					
	12	Pool Buildings	Not in Scope													



CONSTRUCTION NOTES

ALL NOTES DO NOT APPLY TO THIS DRAWING SHEET

1. DETACH AND REMOVE METAL DOOR AND FRAME - REPLACE HOLLOW METAL DOOR WITH ALUMINUM FRAME (OPTIONAL), CLASH AND PAINT TO MATCH EXISTING. PROVIDE NEW HANDLING FOR NEW GLASS DOOR AND METAL, PROVIDE NEW HANDLING FOR EXISTING GLASS DOOR AND METAL, CLASH AND PAINT TO MATCH EXISTING. CONTINUE EXISTING GLASS DOOR TO REMAIN.
2. PROVIDE GUTTER AND DOWNSPUT (THIS ELEVATION ONLY)
3. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
4. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
5. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
6. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
7. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
8. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
9. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
10. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
11. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
12. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
13. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
14. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
15. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
16. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
17. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
18. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
19. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
20. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
21. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
22. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
23. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
24. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
25. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
26. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
27. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
28. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
29. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
30. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
31. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
32. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
33. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
34. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
35. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
36. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
37. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
38. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
39. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
40. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
41. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
42. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
43. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
44. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
45. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
46. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
47. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
48. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
49. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
50. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
51. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
52. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
53. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
54. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
55. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
56. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
57. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
58. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
59. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
60. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
61. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
62. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
63. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
64. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
65. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
66. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
67. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
68. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
69. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
70. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
71. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
72. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
73. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
74. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
75. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
76. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
77. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
78. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
79. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
80. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
81. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
82. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
83. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
84. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
85. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
86. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
87. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
88. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
89. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
90. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
91. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
92. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
93. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
94. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
95. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
96. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
97. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
98. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
99. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)
100. SURFACE FINISH - FINISH AS SHOWN (FINISH AS SHOWN)

20 architects
9100 Lopez Rd. Suite B
Dorset, ME 04843
(207) 425-5610
www.20architect.com

GENERAL NOTES

1. TEMPORARY SIGNAGE AND ISLANDS AT INTERSECTION, CORNER, AND REGULARLY FOR THE PROJECT.

TORZEWSKI PARK KEY

ASSESSMENT FOR: TORZEWSKI PARK
3031 FORD ROAD
LAYER, ME 04446

ELEVATIONS

PROJECT NO: 20-102
DATE: 11/20/2020
DRAWN: A.J.T.
CHECKED: J.W.

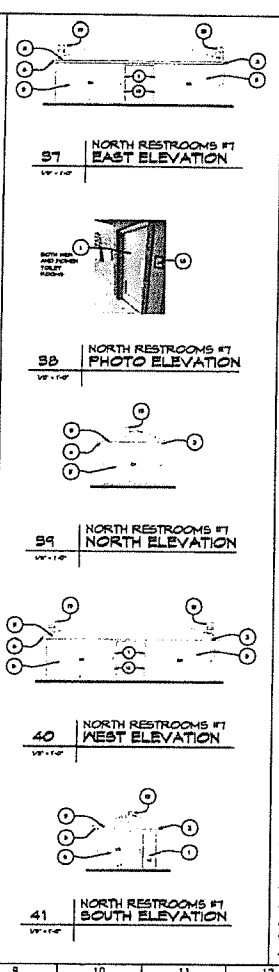
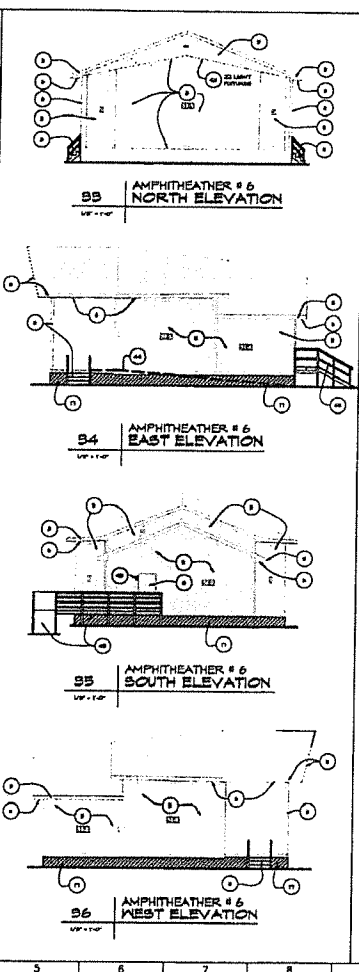
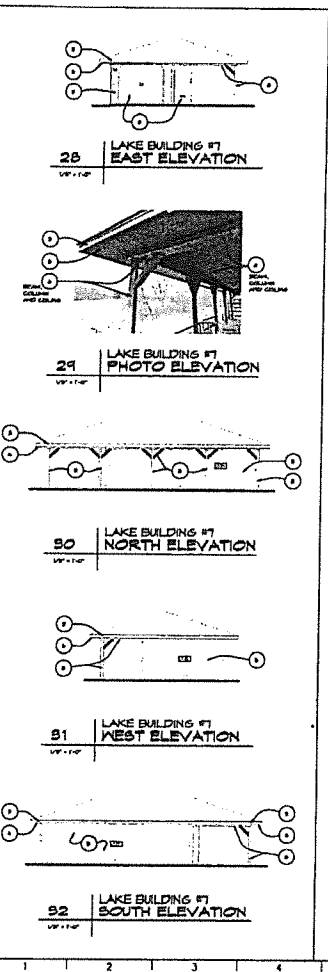
A102

CAD FILE NO: _____
SCALE: _____ SHEET _____ OF _____

PLOT DATE: 11/20/2020

PRELIMINARY 5/4/2023

1" = 1'-0" VERTICAL SCALE
 1" = 1'-0" HORIZONTAL SCALE
 DATE: 05/14/2023
 DRAWN BY: JLM
 CHECKED BY: JLM
 PROJECT NO.: 23-001
 SHEET NO.: A103
 SCALE: AS SHOWN



- CONSTRUCTION NOTES**
1. DETERIORATED METAL DOOR AND FRAME - REPLACE WITH ALUMINUM. DOOR WITH LOCKS. PROVIDE INTERIOR FRAME AND FINISH TO MATCH EXISTING. PROVIDE NEW HANDLING FROM BEST QUALITY DOOR AND HANDLE, LOCKS, AND HARDWARE. GROUND AND THRESHOLD.
 2. PROVIDE GUTTER AND DOWNSPOUT FROM EXISTING DRAINAGE SYSTEM.
 3. SURFACE FINISH - PROVIDE ALUMINUM FINISH OVER.
 4. SURFACE FINISH - REMOVE SURFACE AND FINISH WITH ALUMINUM. REMOVE DOOR OR METAL FRAME DOOR AND FINISH.
 5. SURFACE FINISH AND FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 6. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 7. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 8. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 9. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 10. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 11. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 12. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 13. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 14. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 15. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 16. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 17. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 18. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 19. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 20. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 21. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 22. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 23. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 24. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 25. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 26. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 27. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 28. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 29. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 30. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 31. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 32. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 33. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 34. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 35. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 36. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 37. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 38. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 39. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 40. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.
 41. SURFACE FINISH - REMOVE METAL FRAME DOOR AND FINISH WITH ALUMINUM. REMOVE DOOR AND FINISH WITH ALUMINUM.

2n architects
 9100 Lappan Rd, Suite B
 Oakton, VA 22643
 (703) 472-6660
 www.2narchitects.com

GENERAL NOTES

1. TEMPORARY PERMITS AND PRELIMINARY, METERS, CONSENT, AND REGULATORY PERMITS FOR THIS PLAN.

TORZENSKI PARK KEY

1. OFFICE BUILDING	1. LAKE BUILDING
2. GOLF STORE	2. AMPHITHEATER
3. BENTLEY BUILDING	3. NORTH RESTROOMS
4. SOUTH RESTROOMS	4. PARKING G
5. PARKING H	5. PARKING I
6. PARKING J	6. PARKING K

NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		

LAFAYETTE COUNTY ASSESSMENT FOR: TORZENSKI PARK
3071 POND ROAD LAFAYETTE, VA 24042

ELEVATIONS

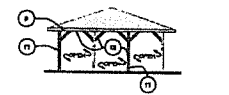
PROJECT NO.: 23-001
DATE: 05/14/23
DRAWN BY: JLM
CHECKED BY: JLM
DATE: 05/14/23
SCALE: AS SHOWN

A103

SCALE: SHEET 03

PRELIMINARY 5/14/2023

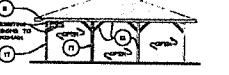
N
M
L
K
J
H
G
F
E
D
C
B
A
 1 2 3 4 5 6 7 8 9 10 11 12 13 14



42 PAVILION C # 7 NORTH ELEVATION
VP = TOP



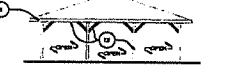
43 PAVILION C # 7 PHOTO ELEVATION
VP = TOP



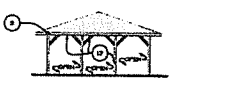
44 PAVILION C # 7 EAST ELEVATION
VP = TOP



45 PAVILION C # 7 SOUTH ELEVATION
VP = TOP



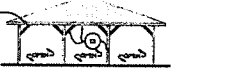
46 PAVILION C # 7 WEST ELEVATION
VP = TOP



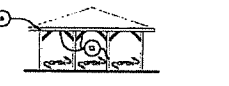
47 PAVILION D # 7 NORTH ELEVATION
VP = TOP



48 PAVILION D # 7 PHOTO ELEVATION
VP = TOP



49 PAVILION D # 7 EAST ELEVATION
VP = TOP



50 PAVILION D # 7 SOUTH ELEVATION
VP = TOP



51 PAVILION D # 7 WEST ELEVATION
VP = TOP

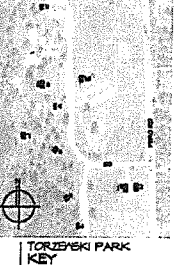
CONSTRUCTION NOTES

- ALL NOTES DO NOT APPLY TO THIS DRAWING SHEET
1. UNFINISHED METAL ROOF AND FRAMES - REPLACE WITH METAL ROOF WITH LAMINATED FIBER REINFORCED PLASTER AND FINISH TO MATCH EXISTING. PROVIDE NEW HANDRAILS WITH NEW HEAVY DUTY ADA HANDLE, RAILINGS, CAPS AND FOOT RESTS TO MATCH EXISTING. EXISTING RAILINGS AND HANDRAILS TO REMAIN.
 2. PROVIDE BARRIER AND EXPANDED TUB ELEVATION GRATE.
 3. REPLACE FLOOR - PROVIDE ALUMINUM PLANK OVER EXISTING.
 4. REPLACE FLOOR IN POOR - PREPARE SURFACE AND PAINT METAL. PROVIDE DOOR ON METAL. PROVIDE DOOR AND FRAMES.
 5. REPLACE FLOOR AND/OR DAMAGED - INSTALL NEW METAL FLOOR BOARD AND METAL TRIM OVER EXISTING FLOOR BOARD.
 6. REPLACE FLOOR - REMOVE EXISTING FLOOR BOARD AND PROVIDE NEW FLOOR BOARD.
 7. REPAIRMENT NOT REQUIRED - REMOVE.
 8. REPLACE FLOOR - PREPARE EXISTING SURFACE AND PAINT ON FLOOR ALL EXISTING EXPOSED SURFACES.
 9. DAMAGED AND/OR CRACKED - REPAIR AND RE-SEAL EXISTING FLOOR JOINTS TO JOINTS.
 10. REPAIRMENT NOT REQUIRED - REMOVE EXISTING HANDRAIL AND RE-INSTALL NEW HANDRAIL.
 11. LOCKING - RE-INSTALL EXISTING LOCK.
 12. DAMAGED OR FLOOR OR OVERHEAD - PROVIDE NEW COLUMN, SUPPORTS AND JOIST BRACE.
 13. DAMAGED - REMOVE PORTION OF ASPHALT AND METAL DRIVEWAY AND INSTALL NEW 12" LIME AND 12" 4000 PSI CONCRETE FLOOR TO MEET AND MATCH EXISTING FLOOR.
 14. DAMAGED AND FLOOR - REMOVE AND REPLACE EXISTING CONCRETE DRIVEWAY, DRIVE PAVEMENT, DRIVE CAP, AND VERT BUILT FOR A PAVEMENT ASSEMBLY.
 15. REPLACE FLOOR IN POOR - REMOVE AND PROVIDE NEW CONCRETE DRIVEWAY.
 16. DAMAGED OR FLOOR - REMOVE AND PROVIDE NEW CONCRETE DRIVEWAY AND DRIVE CAP.
 17. DAMAGED OR FLOOR - REPLACE EXISTING DRIVEWAY.
 18. DAMAGED OR FLOOR - REMOVE EXISTING DRIVEWAY AND PROVIDE NEW DRIVEWAY WITH NEW BRASS.
 19. REPLACE FLOOR - PREPARE SURFACE AND PAINT METAL. METAL DRIVEWAY AND PROVIDE NEW HEAVY DUTY ADA HANDRAILS.
 20. REPLACE FLOOR AND DAMAGED - REMOVE AND REPLACE CONCRETE DRIVEWAY AND CONCRETE DRIVEWAY.
 21. REPLACE DRIVEWAY - REMOVE AND REPLACE WITH CONCRETE DRIVEWAY AND CONCRETE DRIVEWAY.
 22. REPLACE FLOOR AND/OR DAMAGED - INSTALL NEW TRIM AND REPAIR EXISTING METAL FLOOR BOARD AND METAL TRIM.
 23. PROVIDE NEW HANDRAILS - CLEAN UP EXISTING HANDRAILS AND INSTALL NEW HANDRAILS WITH NEW ADA HANDLE, RAILINGS, CAPS AND FOOT RESTS TO MATCH EXISTING.
 24. PROVIDE NEW HEAVY DUTY ADA HANDLE WITH BRASS.
 25. DAMAGED OR FLOOR - REMOVE AND REPLACE WITH CONCRETE DRIVEWAY AND CONCRETE DRIVEWAY.
 26. DAMAGED OR FLOOR - REMOVE AND REPLACE WITH CONCRETE DRIVEWAY AND CONCRETE DRIVEWAY.
 27. PROVIDE NEW - INSTALL YARD DRIVEWAY.
 28. IMPROVEMENT - REMOVE AND REPLACE CONCRETE DRIVEWAY ON ALL SURFACES.
 29. DAMAGED OR FLOOR - REMOVE AND REPLACE EXISTING DRIVEWAY TO MATCH EXISTING. EXISTING DRIVEWAY TO REMAIN.
 30. DAMAGED OR FLOOR - REMOVE AND REPLACE THE UPPER PORTION OF DRIVEWAY AND METAL DRIVEWAY. REMOVE THE FLOOR AND REPLACE AS NECESSARY.
 31. DAMAGED OR FLOOR - REMOVE AND REPLACE EXISTING DRIVEWAY.
 32. SAFETY IMPROVEMENT - INSTALL CABLE BARRIER. PROVIDE TO EXISTING DRIVEWAY.
 33. DAMAGED OR FLOOR - INSTALL NEW FLOOR DRIVEWAY AND PROVIDE NEW DRIVEWAY.
 34. SAFETY IMPROVEMENT - INSTALL NEW DRIVEWAY.
 35. IMPROVEMENT - REPLACE METAL DRIVEWAY AND METAL DRIVEWAY TO MATCH EXISTING. PROVIDE NEW HANDRAILS WITH NEW HEAVY DUTY ADA HANDLE TO MATCH EXISTING. EXISTING HANDRAILS TO REMAIN. EXISTING HANDRAILS TO REMAIN.
 36. DAMAGED OR FLOOR - REPLACE EXISTING DRIVEWAY AND PROVIDE NEW DRIVEWAY.
 37. DAMAGED OR FLOOR - REPLACE EXISTING DRIVEWAY AND PROVIDE NEW DRIVEWAY.
 38. DAMAGED OR FLOOR - REPLACE EXISTING DRIVEWAY AND PROVIDE NEW DRIVEWAY.
 39. IMPROVEMENT - REPLACE EXISTING DRIVEWAY AND PROVIDE NEW DRIVEWAY.
 40. DAMAGED OR FLOOR - REPLACE EXISTING DRIVEWAY AND PROVIDE NEW DRIVEWAY.
 41. IMPROVEMENT - REPLACE EXISTING DRIVEWAY AND PROVIDE NEW DRIVEWAY.
 42. DAMAGED OR FLOOR - REMOVE AND REPLACE EXISTING DRIVEWAY AND PROVIDE NEW DRIVEWAY.
 43. IMPROVEMENT - REPLACE EXISTING DRIVEWAY AND PROVIDE NEW DRIVEWAY.
 44. IMPROVEMENT - REPLACE EXISTING DRIVEWAY AND PROVIDE NEW DRIVEWAY.
 45. DAMAGED OR FLOOR - REPLACE EXISTING DRIVEWAY AND PROVIDE NEW DRIVEWAY.
 46. DAMAGED OR FLOOR - REPLACE EXISTING DRIVEWAY AND PROVIDE NEW DRIVEWAY.

2n architects
 3100 Leiper Rd. Suite B
 Dulles, VA 20146
 (703) 401-5640
 www.2narchitects.com

GENERAL NOTES

1. TEMPORARY SIGNAGE AND INSTALLATION, SIGNAGE, AND FURNISHING SHALL BE FOR NEW WORK.



TORZANSKI PARK KEY

KEY

1. OFFICE BUILDING	7. LAKE BUILDING
2. GOLF COURSE	8. JUVENILE CENTER
3. ENTRY BOOTH	9. NORTH RESTROOMS
4. NORTH RESTROOMS	10. PARKING D
5. PARKING A	11. PARKING B
6. PARKING B	

LAPER COUNTY
**ASSESSMENT FOR:
 TORZANSKI PARK**
 2051 POND ROAD
 LYNCH, VA 24042

ELEVATIONS

OWNER TITLE

PROJECT NO. _____ SHEET _____

DATE _____ TOTAL SHEETS _____

DRAWN BY _____

CHECKED _____

A104

SCALE _____ SHEET _____ OF _____

PRELIMINARY 5/4/2023



3B
2022

CONTRACT MODIFICATION

Modification # 2

AMENDMENT TO THE PROFESSIONAL SERVICES AGREEMENT LETTER

Date: May 5, 2023
OWNER: Lapeer County
John Bustle
255 Clay Street
Lapeer, MI 48446

PROJECT NAME: General Squier Park – Building Improvements (excludes Forest Hall)
Continuation of Services – Scope per the Assessment

ARCHITECT: H2A Architects Inc.
9100 Lapeer Road
Suite B
Davison MI 48423

Date of Original Agreement: March 9, 2023

Scope of Service Change

The Owner and the Architect agree to the following changes in scope:

Continuation of Services:

- Bidding Documents including specifications and building diagrams. Pool area concrete replacement to be bid by unit cost.
- Bid Assistance for solicitation and contract award.
- Construction Administration abbreviated, pre-construction meeting, 50% review, construction issue assistance, change orders, punch list & project close-out.

The Architects Compensation and Schedule shall change as follows:

Compensation adjustment: **Additional Hourly Services, estimated add \$14,900.00**

Schedule adjustment: Schedule shall be increased by **30 days** to July 9, 2023.

Accepted by:

Client

Date

H2A Architects:



Jacqueline Holst, AIA Project Manager

Z:\Bd\Lapeer County Parks\General Squier Memorial Park\Contract Modification - Continuation of Services (except Forest Hall).docx



General Provisions

Insurance: Our insurance certificate describing our insurance limits is available upon request.

Project and fee changes:

- If the project scope changes from the above description, our fee may need to be revised
- Additional requested services will be billed at our hourly rates until the extent of extra work is determined.
- If the project is cancelled for any reason during the design or construction document phase, work completed to date will be billed at hourly rates.
- Fee changes shall be approved in writing by the Owner before proceeding.

Monthly Invoices: Invoices will be submitted for the proportion of the total services actually completed and will be billed at project completion or the end of each month for ongoing services. Invoices are due within 21 days of Owners receipt of invoice.

Construction: Our firm(s) do not have control or charge of, and shall not be responsible for, construction means, methods, techniques, sequences or procedures, or for safety precautions and programs, all in connection with the new construction, modifications or repairs.

Indemnification: Our firm(s) agrees, to the fullest extent permitted by law, to indemnify and hold the Owner harmless from any damage, liability or cost (including reasonable attorneys' fees and costs of defense) to the extent caused by our negligent acts, errors or omissions in the performance of professional service under this Agreement and those of his or her sub-consultants, or anyone for whom the firm(s) are legally liable.

Either party may terminate this Agreement for cause upon giving the other party not less than seven (7) calendar day's written notice for any of the following reasons:

- Substantial failure by the other party to perform in accordance with the terms of this Agreement and through no fault of the terminating party;
- Assignment of this Agreement or transfer of the Project by either party to another entity without prior written consent of the other party;
- Suspension of the Project or the Consultant's services by the Client for more than ninety (90) calendar days, consecutive or in the aggregate;
- Material changes in the conditions under which this Agreement was entered into, the Scope of Services or the nature of the Project, and the failure of the parties to reach agreement on the compensation and schedule adjustments necessitated by such changes.

The Owner agrees, to the fullest extent permitted by law, to indemnify and hold harmless from any damage, liability or cost (including reasonable attorneys' fees and costs of defense) to the extent caused by the Owners negligent acts, errors or omissions and those of his or her contractors, sub-contractors or consultants or anyone for whom the Owner is legally liable, and arising from the project that is the subject of this Agreement.

Limits of Liability: In recognition of the relative risks and benefits of the Project to both the Owner and H2A Architects, the risks have been allocated such that the Owner agrees, to the fullest extent permitted by law, to limit the liability of H2A Architects and their officers, employees, Owners and subconsultant for any and all claims, losses, costs damages of any nature whatsoever or claims expenses from any cause or causes, including attorneys' fees and costs and expert-witness fees and costs, so that the total aggregate liability of H2A Architects and their officers, employees, Owners and subconsultants shall not exceed the total fee for their services rendered on this Project, whichever is greater. It is intended that this limitation apply to any and all liability or causes of action however alleged or arising, unless otherwise prohibited by law.

It is further understood and agreed that if the Client declines H2A's or any of the Consultant's recommendations for inspections and testing, the Client will assume all responsibility for these elements



and the Client will waive any claims against H2A or their Consultants that may be in any way connected thereto.

Use of Existing Documents: In consideration of the risks and rewards involved in this Project, the Owner agrees that any existing documents, surveys, drawings, documentation of the existing built site and facilities, provided to H2A by the Owner or by the prior consultants of the Owner, may be relied upon as to their accuracy and completeness without independent investigation by H2A and their consultants.

It is further understood and agreed that if the Client declines H2A's or any of the Consultant's recommendations for inspections and testing, the Client will assume all responsibility for these elements and the Client will waive any claims against H2A or their Consultants that may be in any way connected thereto.

It is understood and agreed that H2A's scope of services under this agreement is limited to visible assessment of the conditions from the ground, with no destructive measures. Inasmuch as the remodeling and/or rehabilitation of the existing structure requires that certain assumptions be made by H2A and their Consultants regarding existing conditions, and because some of these assumptions may not be verifiable without the Client's expenditure of sums of money or destroying otherwise adequate or serviceable portions of the building, the Client agrees to bear all costs, losses and expenses, including the cost of H2A's additional services, arising from the discovery of concealed or unknown conditions in the existing building.

All building codes are subject to interpretations, H2A will provide guidance for the Client's project development based on their professional opinion of the building code. This does not constitute a guarantee that the building official will accept the interpretation at submission for plan review or any other time during the construction of the project. The Client will be required to comply with the interpretation of the building official or appeal the decisions through the process established by the building code. While H2A may assist the Client during this process it is considered an extra service.

Under the scope of services for this proposal, and unless specifically excluded by the Owner, H2A shall visit the site at limited key intervals, pre-construction, 50% and 100%, to observe the construction to become familiar with the progress and quality of the work, and to determine, in general, that the work is in compliance with the Contract Documents. H2A shall not be required to make exhaustive or continuous on-site inspections. H2A shall also review and certify (if appropriate), that the Contractor's pay requests, to the best of their knowledge, is appropriate to the amount of work in place. H2A shall review the Contractor's key product submissions for compliance with the contract documents. Where changes are either desired by the Owner or required by construction conditions, H2A shall prepare bulletins to obtain contractor pricing, and prepare change orders for the work for the Owners approval and execution as part of the Contract Document. Upon the Contractor's notice of completion, H2A shall make inspection of the work to determine the date of Substantial Completion and make a list of any items that are not completed in accordance with the Contract Documents. H2A shall provide the Contract and the Owner with copies of the Certificate of Substantial Completion, along with the list of the non-satisfactory items to be addressed. If additional scopes of services are added to the scope of work during the construction phase, this Agreement shall be amended to provide additional compensation to be paid to H2A for performing such services.

Drawings, diagrams, specifications and other documents prepared by the Architect for the Owner's use solely with respect to this Project. The Architect shall retain all common law, statutory and other reserved rights, including the copyright. Should this agreement be terminated the Owner's right to use these documents shall cease unless specifically granted in writing by the Architect.

If H2A receives verbal or email approval to proceed, and begins work on the project, it will be considered the same as signing this agreement unless other provisions have been agreed upon in writing.

Our firm(s) is not obligated to indemnify the Owner in any manner whatsoever for the Owner's own negligence.

Z:\Bd\Lapeer County Parks\General Squier Memorial Park\Revised General Conditions for Continuation of Services with CA.docx



**Lapeer County – General Squier Park
Assessment
5-5-2023**

In spring of 2023, an assessment was conducted by Jackie Hoist and Aaron Wawrzyniak, from H2A Architects. Accompanying were John Bustle, Rich Bayley, and Jillian Weiss, from Lapeer County. Limited destructive means were used to observe conditions and no testing was involved. No structural, mechanical, or electrical engineers were present. Accessibility deficiencies were considered in the assessment, however building interiors were not part of the scope of work except Forest Hall. The opinions expressed in these observations are based upon professional experience with similar projects.

The buildings vary in age, and dates for all 19 buildings were not available. This Park was known as 'Dryden Community Country Club', in 1918, as 'Major General George Squire Club', in 1934, and known as 'General Squier County Park', in 1976, and is on the National Register of Historic Places, including eight (8) of the structures. One or more of the smaller contributing structures may be gone today.

The oldest building is 'The Mill,' built in 1871 and remodeled in 1917, 'Forest Hall,' built in 1917, and 'The Cottage,' built in 1917 and moved in 1931. These structures are listed in the Historic Nomination as 'contributing structures,' along with the Cottage Privy (1931), the 'Forest Hall Pump House,' built in 1917 (unconfirmed if still existing), and 'The Tower,' 'Teahouse,' and 'Drinking Fountain' all from 1920. Contemporary structures standing and listed in the 1986 Nomination were added in the 1980's and later and are listed as 'non-contributing structures.' These include the maintenance garage, pavilions, and restroom buildings. 'Pavilion B', as it is now called, was built in 1917 as a workshop for the park complex. In 1982, it was heavily altered, walls removed, and a slab added, extensively changing the appearance, to convert it to a picnic pavilion; the result is a 'non-contributing structure.'

The structures listed as contributing are protected by their designation, against demolition or inappropriate alterations with the use of Federal dollars. Other than that, the designation provides no protection and relies on good stewardship to maintain the structures in accordance with the Secretary of the Interior standards for Treatment of Historic Properties.

The buildings in the park are in **fair to poor** condition.

Fair – Materials or conditions neither benefit nor detract from the appearance or suitability of the facility and should have a useful remaining life span.

Poor – Material or condition is usually deteriorated or detrimental to the appearance or suitability of the facility. Repair is required or advisable, as soon as possible.

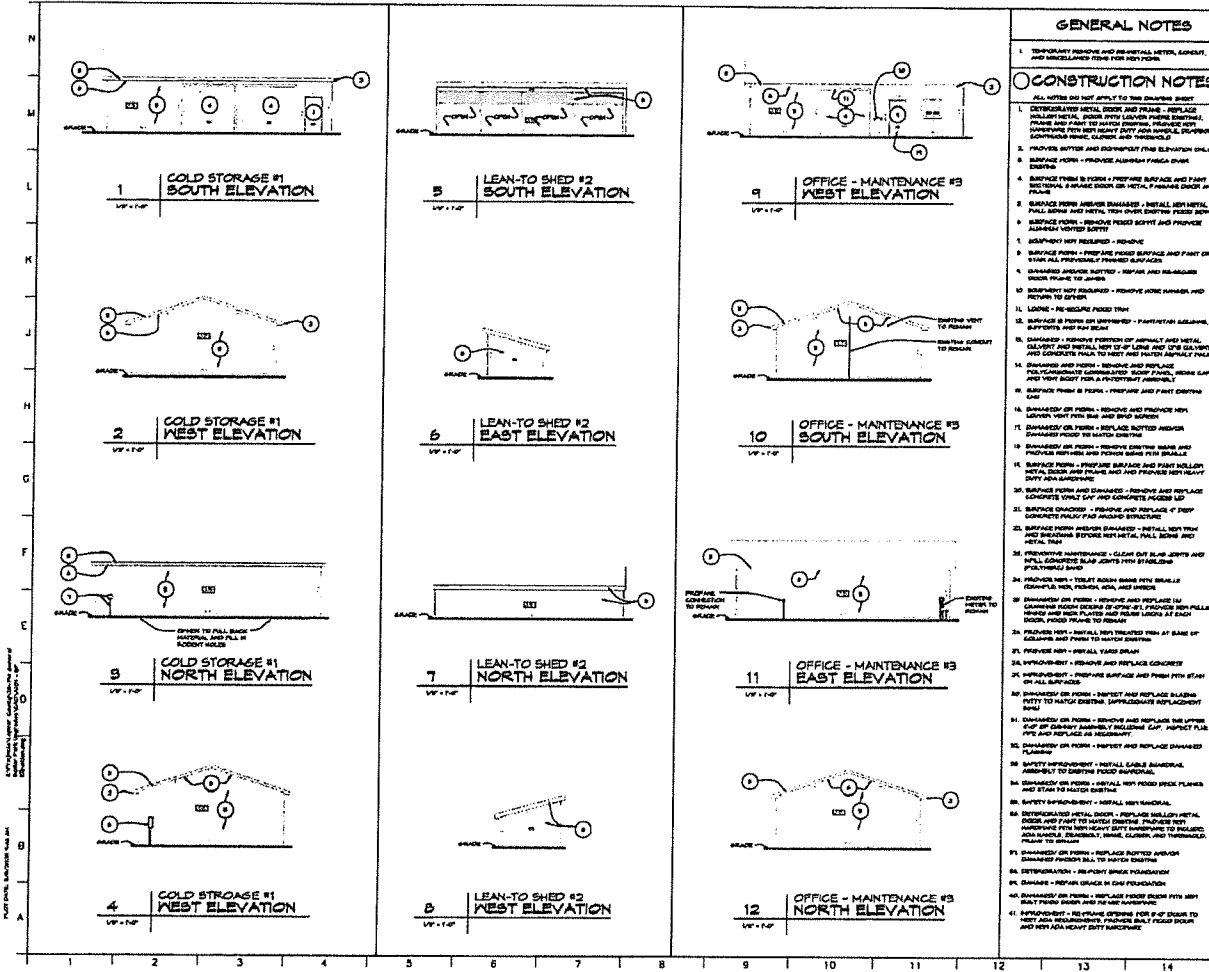
Structures are wood framing, with asphalt shingle roofs, and painted wood siding. The paint requires regular attention. Wood siding materials exhibit needed maintenance with rot and numerous holes wildlife have chewed. The roofs were recently replaced, but a few areas need attention. Many of the non-historic buildings would benefit from metal siding, fascia, and soffits. Wood rot should be addressed, concrete replaced where damaged, and some of the doors and windows need attention.

Forest Hall exhibited much more extensive issues than the remainder of the buildings. A separate report will be issued for Forest Hall with a more intensive assessment including a structural assessment for this building.

It is our recommendation that the work scope in this assessment be undertaken as soon as possible. Assessment summary and diagrams are attached.

Lapeer County Parks - General Squier
 Building Assessments May 2023

		IMPROVEMENTS / UPGRADES																		
		Gutters	Alum Wrap Fascia	Masonry - Repointing and/or Parging	Carpentry - replace rotted components	Metal Siding	Metal Soffit	Doors Standard	Door - Repairs - Hardware	Paint/Stain	Signage	Pavement Replacement	Vault Cover and/or Access	Concrete Joint Replacement	Yard Drain	Guardrail/Handrail	Flashing	Glazing Putty Replacement	Corrugated Fiberglass Roofing	Louvers
1	Cold Storage	✓	✓			✓	✓													
2	Lean-To Shed									✓										
3	Office/Maintenance	✓	✓			✓	✓		✓	✓										
4	Pavilion A		✓							✓										
5	Pathway											✓								
6a	Restrooms		✓		✓	✓	✓	✓		✓	✓	✓	✓							✓
6b	Restrooms		✓		✓	✓	✓	✓		✓	✓	✓	✓							✓
7	Pavilion B									✓		✓								
8	Pavilion C	✓	✓							✓		✓		✓						
9	Bathhouse	✓			✓			✓		✓	✓	✓			✓					
10	Arbor				✓					✓										
11	Arbor				✓					✓										
12	Pool Walkway											✓								
13	Pool Vault Covers												✓							
14	Mill	✓		✓	✓				✓	✓						✓	✓	✓		
15	Cottage	✓		✓	✓															
16	Tea House				✓					✓										
17	Pavilion D		✓							✓		✓								
18a	Restrooms (west park)				✓			✓		✓	✓		✓						✓	✓
18b	Restrooms (west park)				✓			✓		✓	✓		✓						✓	✓
19	Forest Hall	Separate Report																		



GENERAL NOTES

1. TEMPORARY REMOVE AND REINSTALL METAL, SIDING, AND MISCELLANEOUS ITEMS FOR NEW WORK.
2. ALL NOTES DO NOT APPLY TO THE DRAWING SHEET UNLESS SPECIFICALLY NOTED OTHERWISE.
3. DAMAGE TO EXISTING WORK SHALL BE REPAIRED TO ORIGINAL OR BETTER CONDITION UNLESS OTHERWISE NOTED.
4. SURFACE FINISH IS FORM - PREPARE SURFACE AND PAINT WITH TERRAZZO FINISH ON METAL, FORMER BRICK AND PLUMB.
5. SURFACE FINISH INTERIOR DAMAGED - INSTALL NEW METAL PANELS AND WITH TECH OVER EXISTING FORMER BRICK.
6. SURFACE FINISH - REMOVE EXISTING ROOF AND PROVIDE ALUMINUM ROOFING SYSTEM.
7. DAMAGE TO FORMS - REPAIR AND REFINISH WITH TERRAZZO FINISH ON METAL, FORMER BRICK AND PLUMB.
8. DAMAGE TO FORMS - REPAIR AND REFINISH WITH TERRAZZO FINISH ON METAL, FORMER BRICK AND PLUMB.
9. DAMAGE TO FORMS - REPAIR AND REFINISH WITH TERRAZZO FINISH ON METAL, FORMER BRICK AND PLUMB.
10. DAMAGE TO FORMS - REPAIR AND REFINISH WITH TERRAZZO FINISH ON METAL, FORMER BRICK AND PLUMB.
11. DAMAGE TO FORMS - REPAIR AND REFINISH WITH TERRAZZO FINISH ON METAL, FORMER BRICK AND PLUMB.
12. DAMAGE TO FORMS - REPAIR AND REFINISH WITH TERRAZZO FINISH ON METAL, FORMER BRICK AND PLUMB.

2n architects
 1000 Lakeside Blvd. Suite B
 Dulles, VA 20146
 (703) 402-5840
 www.2narchitects.com

GENERAL SQUIRE PARK
 KEY

NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

LANTIER COUNTY
**ASSESSMENT FOR:
 GENERAL SQUIRE PARK**
 4725 S HILL ROAD
 DRYDEN, MI 49429

DRAWING TITLE
ELEVATIONS

PROJECT NO.
A101

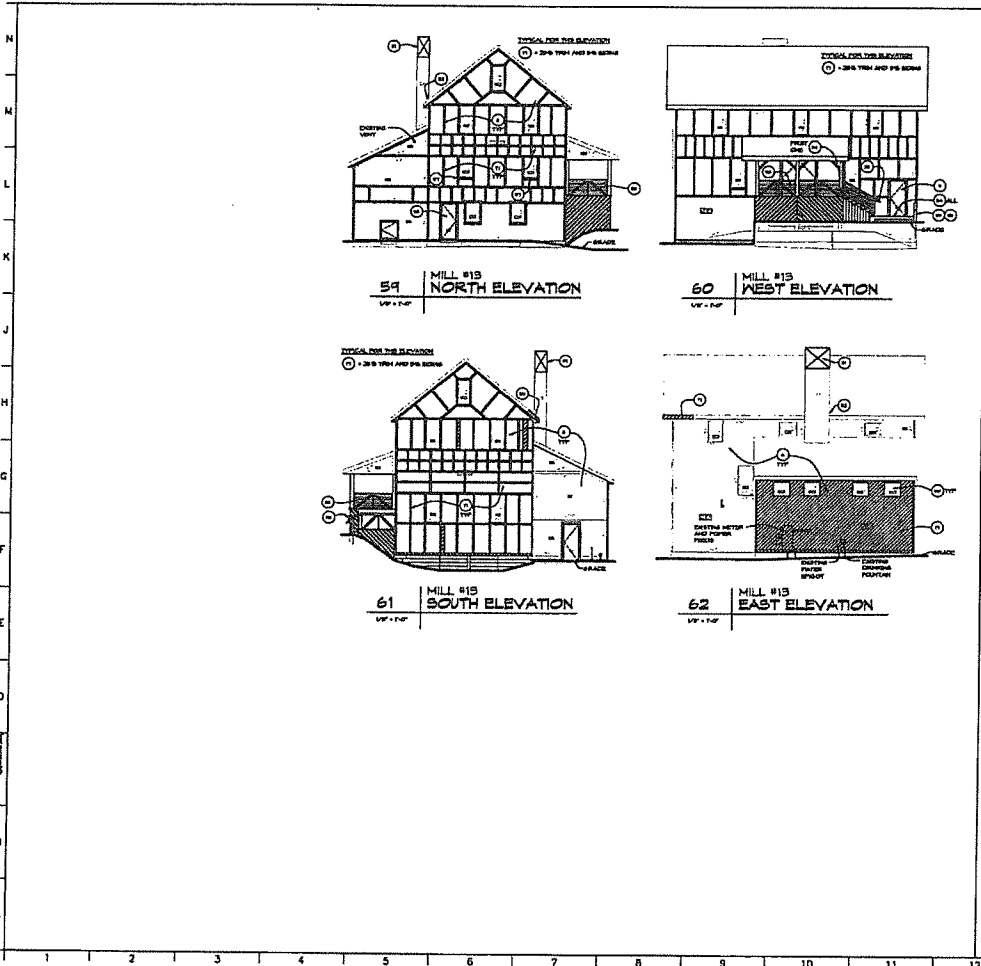
DATE
 11/04/2023

DRAWN
 JMM

CHECKED
 JMM

SCALE
 3/8" = 1'-0"

PRELIMINARY 5/4/2023



- ### GENERAL NOTES
1. TEMPORARY BRACING AND MISCELLANEOUS VERTICAL, CORNER, AND HORIZONTAL DIMS FOR NOT FOUND
- ### CONSTRUCTION NOTES
- ALL NOTES DO NOT APPLY TO THIS DRAWING SHEET
1. DETERIORATED METAL DOORS AND FRAMES - REPLACE INCLUDING METAL DOOR WITH LAMINAR FIBERGLASS INTERIOR, FRAME AND TRIM TO MATCH EXISTING. PROVIDE NEW HANDLING FOR NEW GLASS UNIT AND HANDLE, PROBABLE, COORDINATE WITH GLASS AND TYPICAL
 2. PROVIDE INTERIOR AND EXTERIOR TRIM ELEVATOR ONLY
 3. SURFACE FINISH - PROVIDE ALUMINUM FINISH OVER EXISTING
 4. SURFACE FINISH - PREPARE SURFACE AND PAINT WITH METAL FINISH OVER ON METAL FINISH OVER AND FINISH
 5. SURFACE FINISH - REMOVE DAMAGED - INSTALL NEW METAL FINISH OVER AND METAL TRIM OVER EXISTING FINISH OVER
 6. SURFACE FINISH - REMOVE POOR QUALITY AND PROVIDE ALUMINUM VESTED TRIM
 7. SURFACE FINISH - REMOVE - REMOVE
 8. SURFACE FINISH - PREPARE POOR SURFACE AND PAINT ON WITH FULLY FINISHED FINISH SURFACE
 9. DAMAGED JOINTS - REPAIR AND RE-SECURE JOINTS TO MATCH EXISTING
 10. DAMAGED JOINTS - REPAIR - REMOVE AND RE-INSTALL AND REPAIR TO MATCH
 11. LOCKS - RE-INSTALL POOR TRIM
 12. SURFACE FINISH - REMOVE OR IMPROVE - PAINTLAIN COLORED, SURFACES AND TRIM
 13. SURFACE FINISH - REMOVE PORTIONS OF IMPACT AND METAL CORNER AND METAL TRIM OF UP LINE AND UP LINE CORNER AND REPAIR TO MATCH AND REPAIR SURFACE FINISH
 14. DAMAGED AND POOR - REMOVE AND REPLACE WITH ALUMINUM FINISH OVER AND METAL TRIM, FRAME CAP, AND NEW BODY FOR A PERMANENT ASSEMBLY
 15. SURFACE FINISH - PREPARE AND PAINT EXISTING ONE
 16. DAMAGED OR POOR - REMOVE AND PROVIDE NEW LOWER VENT FIVE SIX AND BRASS BRASS
 17. DAMAGED OR POOR - REPLACE EXISTING AND PROVIDE FINISH TO MATCH EXISTING
 18. DAMAGED OR POOR - REMOVE EXISTING BRASS AND PROVIDE NEW BRASS AND FINISH TO MATCH EXISTING
 19. SURFACE FINISH - PREPARE SURFACE AND PAINT WITH METAL FINISH OVER AND METAL TRIM OVER EXISTING FINISH OVER
 20. SURFACE FINISH - REMOVE AND REPLACE CONCRETE TRAIL CAP AND CONCRETE ACCESS LID
 21. SURFACE FINISH - REMOVE AND REPLACE WITH CONCRETE FINISH AND ANCHOR STRUCTURE
 22. SURFACE FINISH - REMOVE - INSTALL NEW TRIM AND BRASS BRASS WITH METAL FINISH OVER AND METAL TRIM
 23. FINISHING IMPROVEMENTS - CLEAN OUT ALL JOINTS AND METAL CONCRETE JOINTS WITH BRASS BRASS
 24. PROVIDE NEW - YOLK BRASS BRASS WITH BRASS BRASS WITH METAL FINISH OVER AND METAL TRIM
 25. DAMAGED OR POOR - REMOVE AND REPLACE WITH CONCRETE FINISH OVER AND METAL TRIM OVER EXISTING FINISH OVER
 26. PROVIDE NEW - METAL NEW TRIM OVER TRIM AT BASE OF COLUMN AND TRIM TO MATCH EXISTING
 27. PROVIDE NEW - PARTIAL TRIM DRAW
 28. IMPROVEMENT - REMOVE AND REPLACE CONCRETE
 29. IMPROVEMENT - PREPARE SURFACE AND FINISH WITH TRIM ON ALL SURFACES
 30. DAMAGED OR POOR - REMOVE AND REPLACE BRASS BRASS TO MATCH EXISTING, CONCRETE REPLACEMENT TRIM
 31. DAMAGED OR POOR - REMOVE AND REPLACE THE UPPER 10" OF CORNER ASSEMBLY WITH BRASS BRASS, REMOVE FIVE AND REPLACE AS NECESSARY
 32. DAMAGED OR POOR - REMOVE AND REPLACE DAMAGED FINISH
 33. SAFETY IMPROVEMENT - INSTALL CABLE GUARDRAIL PRESENT TO EXISTING POOR GUARDRAIL
 34. DAMAGED OR POOR - INSTALL NEW FIBER GLASS FINISH AND TRIM TO MATCH EXISTING
 35. SAFETY IMPROVEMENT - METAL NEW HANDRAIL
 36. DETERIORATED METAL DOOR - REPLACE WITH METAL DOOR AND TRIM TO MATCH EXISTING, PROVIDE NEW HANDLING FOR NEW GLASS UNIT AND HANDLE, PROBABLE, COORDINATE WITH GLASS AND TYPICAL
 37. DAMAGED OR POOR - REPLACE ROTTEN AND/OR DAMAGED PORTION OF TRIM TO MATCH EXISTING
 38. IMPROVEMENT - REPAIR BRASS BRASS
 39. DAMAGE - REPAIR BRASS BRASS ON FORMERLY
 40. DAMAGED OR POOR - REPLACE POOR TRIM WITH NEW TRIM TO MATCH EXISTING
 41. IMPROVEMENT - RE-FRAME OPENING FOR PUP DOOR TO MET AND RE-INSTALL FINISH OVER AND FINISH OVER

2A architects

950 Upper Hill Lane B
Denville, NJ 07834
(609) 472-5640
www.2aarchitects.com

GENERAL SQUIRE PARK KEY

1. SELF STORAGE	8. PARKING C
2. LAWN TO BE BUILT	9. BARRIAGE
3. OVER HANGING	10. POOR APPROX NORTH
4. PARKING A	11. POOR APPROX SOUTH
5. PARKING B	12. POOR PARKING
6. RESTROOMS A AND B	13. HILL
7. PARKING D	14. POOR VALLY COVER
8. GOLFERS	15. GOLFERS

NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		

LANER COUNTY
ASSESSMENT FOR:
GENERAL SQUIRE PARK

4300 S HILL ROAD
DENVILLE, NJ 07834

OWNER TITLE: _____

ELEVATIONS

PROJECT NO: 20-14

DATE: TODAY, 2020

DRAWN BY: _____

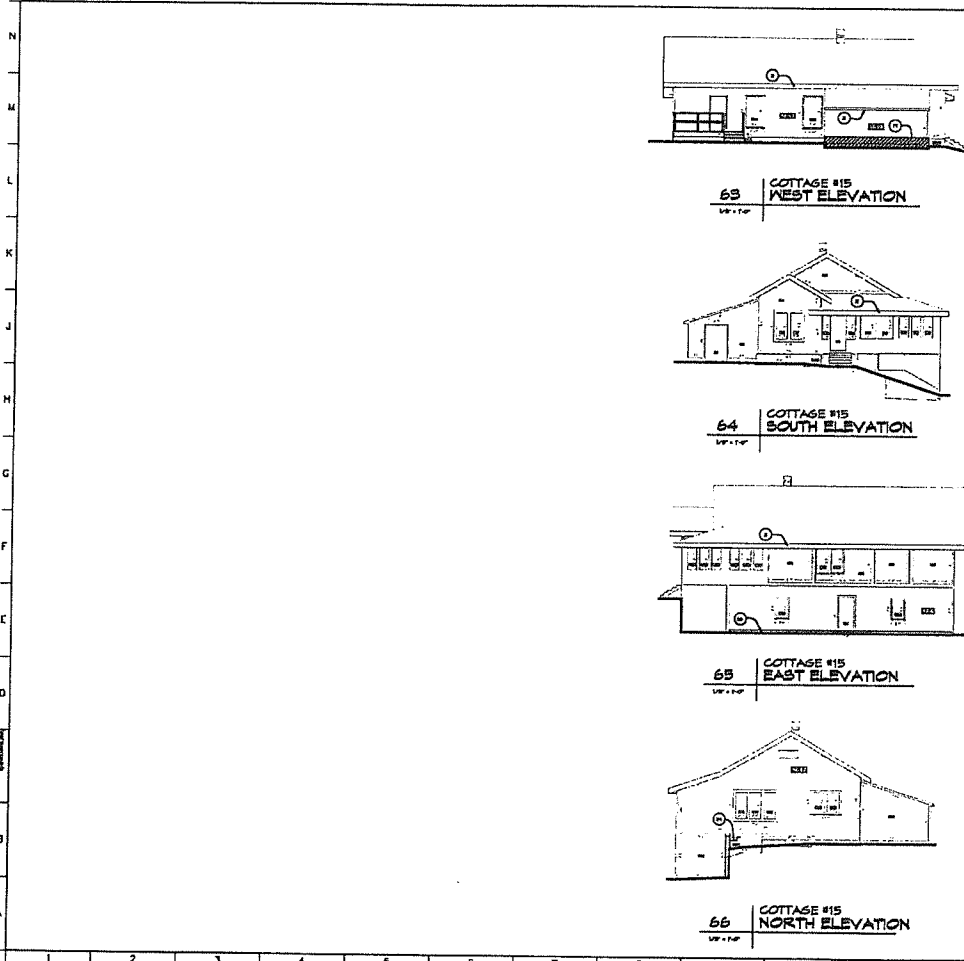
CHECKED: _____

A105

CD FILE NO: _____

SCALE: _____

PRELIMINARY 5/4/2023



GENERAL NOTES

1. TO PREPARE FINISHES AND REINSTALL INTERIOR, CONCRETE, AND MISCELLANEOUS ITEMS FOR NOTED ITEMS.
2. ALL NOTED ITEMS SHALL BE IN ACCORDANCE WITH THE LATEST CODES.

CONSTRUCTION NOTES

1. DESTABILIZED METAL DOOR AND FRAME - REPLACE WITH NEW METAL DOOR AND FRAME TO MATCH EXISTING. PROVIDE NEW SCHEDULED METAL DOOR AND FRAME TO MATCH EXISTING. REPAIR/REPLACE METAL DOOR AND FRAME TO MATCH EXISTING. REPAIR/REPLACE METAL DOOR AND FRAME TO MATCH EXISTING.
2. PROVIDE BITTER AND BURNISHED FINISH EXTERIOR ONLY.
3. SURFACE FROM B FLOOR - PREPARE SURFACE AND PAINT EXTERIOR SURFACE FROM OR METAL PASSAGE DOOR AND FRAME.
4. SURFACE FROM AND/OR DAMAGED - INSTALL NEW METAL WALL BRACE AND METAL TRUSS BRACE FROM B FLOOR.
5. SURFACE FROM - REMOVE POOR QUALITY AND PROVIDE ALUMINUM VERTICAL BRACE.
6. EQUIPMENT NOT INDICATED - FINISH.
7. SURFACE FROM - PREPARE POOR SURFACE AND PAINT ON TOP OF ALL FINISHES. FINISH SURFACE.
8. DAMAGED JOIST ROOF - REPAIR AND RE-ROOF ROOF FRAME TO JAMES.
9. EQUIPMENT NOT INDICATED - FINISH WORK GENERAL AND RETURN TO OWNER.
10. LUMBER - PREPARE POOR SURFACE.
11. SURFACE FROM - REMOVE EXISTING GROUND SUPPORTS AND FINISH.
12. DAMAGED OR POOR - REMOVE EXISTING METAL DOOR AND METAL TRUSS BRACE AND RE-ROOF ROOF FRAME TO JAMES.
13. DAMAGED OR POOR - REMOVE EXISTING METAL DOOR AND METAL TRUSS BRACE AND RE-ROOF ROOF FRAME TO JAMES.
14. DAMAGED OR POOR - REMOVE EXISTING METAL DOOR AND METAL TRUSS BRACE AND RE-ROOF ROOF FRAME TO JAMES.
15. DAMAGED OR POOR - REMOVE EXISTING METAL DOOR AND METAL TRUSS BRACE AND RE-ROOF ROOF FRAME TO JAMES.
16. SURFACE FROM AND DAMAGED - REMOVE AND REPLACE CONCRETE FLOOR CAP AND CONCRETE ACCESS LID.
17. SURFACE CRACKED - REMOVE AND REPLACE WITH CONCRETE FLOOR CAP AND CONCRETE ACCESS LID.
18. SURFACE FROM AND/OR DAMAGED - REPAIR AND REPLACE METAL TRUSS BRACE AND METAL TRUSS BRACE.
19. PREVENTIVE MAINTENANCE - CLEAN OUT SLASH DEBRIS AND INSTALL CONCRETE SLASH DEBRIS WITH POLYURETHANE POLYURETHANE BRACE.
20. PROVIDE NEW - TRUSS FROM B FLOOR WITH SCHEDULED STEEL TRUSS, FLOOR, AND BRACE.
21. DAMAGED OR POOR - REMOVE AND REPLACE IN DAMAGED FROM B FLOOR WITH SCHEDULED STEEL TRUSS, FLOOR, AND BRACE.
22. PROVIDE NEW - TRUSS FROM B FLOOR WITH SCHEDULED STEEL TRUSS, FLOOR, AND BRACE.
23. PROVIDE NEW - TRUSS FROM B FLOOR WITH SCHEDULED STEEL TRUSS, FLOOR, AND BRACE.
24. IMPROVEMENT - REMOVE AND REPLACE CONCRETE FLOOR CAP AND CONCRETE ACCESS LID.
25. DAMAGED OR POOR - REMOVE AND REPLACE SLASH DEBRIS WITH CONCRETE FLOOR CAP AND CONCRETE ACCESS LID.
26. DAMAGED OR POOR - REMOVE AND REPLACE THE LOWER PART OF EXISTING EXTERIOR WALL, REPAIR WITH NEW CONCRETE FLOOR CAP AND CONCRETE ACCESS LID.
27. DAMAGED OR POOR - REMOVE AND REPLACE DAMAGED FLOORING.
28. SAFETY IMPROVEMENT - INSTALL SAFETY BARRIERS AND/OR FLOOR BARRIERS.
29. DAMAGED OR POOR - REMOVE AND REPLACE METAL DOOR AND METAL TRUSS BRACE AND RE-ROOF ROOF FRAME TO JAMES.
30. SAFETY IMPROVEMENT - INSTALL SAFETY BARRIERS AND/OR FLOOR BARRIERS.
31. DAMAGED OR POOR - REMOVE AND REPLACE METAL DOOR AND METAL TRUSS BRACE AND RE-ROOF ROOF FRAME TO JAMES.
32. DAMAGED OR POOR - REMOVE AND REPLACE METAL DOOR AND METAL TRUSS BRACE AND RE-ROOF ROOF FRAME TO JAMES.
33. DAMAGED OR POOR - REMOVE AND REPLACE METAL DOOR AND METAL TRUSS BRACE AND RE-ROOF ROOF FRAME TO JAMES.
34. DAMAGED OR POOR - REMOVE AND REPLACE METAL DOOR AND METAL TRUSS BRACE AND RE-ROOF ROOF FRAME TO JAMES.
35. DAMAGED OR POOR - REMOVE AND REPLACE METAL DOOR AND METAL TRUSS BRACE AND RE-ROOF ROOF FRAME TO JAMES.
36. DAMAGED OR POOR - REMOVE AND REPLACE METAL DOOR AND METAL TRUSS BRACE AND RE-ROOF ROOF FRAME TO JAMES.
37. DAMAGED OR POOR - REMOVE AND REPLACE METAL DOOR AND METAL TRUSS BRACE AND RE-ROOF ROOF FRAME TO JAMES.
38. DAMAGED OR POOR - REMOVE AND REPLACE METAL DOOR AND METAL TRUSS BRACE AND RE-ROOF ROOF FRAME TO JAMES.
39. DAMAGED OR POOR - REMOVE AND REPLACE METAL DOOR AND METAL TRUSS BRACE AND RE-ROOF ROOF FRAME TO JAMES.
40. DAMAGED OR POOR - REMOVE AND REPLACE METAL DOOR AND METAL TRUSS BRACE AND RE-ROOF ROOF FRAME TO JAMES.
41. DAMAGED OR POOR - REMOVE AND REPLACE METAL DOOR AND METAL TRUSS BRACE AND RE-ROOF ROOF FRAME TO JAMES.

2n architects
1100 Loper Rd, Suite B
Darien, MA 01923
(508) 422-5540
www.2narchitects.net

GENERAL SQUIRE PARK KEY

1	COLL WYBRIDGE	8	PHASE C
2	LOUPO WAD	9	SHAWMUT
3	OFFICE WAREHOUSE	10	POOR AND/OR NORTH
4	PHASE A	11	POOR AND/OR SOUTH
5	PHASE B	12	PHASE D
6	PHASE E	13	HILL
7	PHASE F	14	POOR, VARYING CONDITIONS
8	COTTAGE		

ASSESSMENT FOR: GENERAL SQUIRE PARK
4733 S HILL ROAD
DARTMOUTH, MA 01923

ELEVATIONS

PROJECT NO. 20-104
DATE TODAY, 2023
DRAWN JLM
CHECKED JLM

A106

SCALE SHEET OF

PRELIMINARY 5/4/2023

GENERAL NOTES

1. TEMPORARY REMOVE AND RE-INSTALL AFTER, CONCRETE, AND RECONSTRUCT OTHER PERMITTED WORK.
2. ALL NOTES DO NOT APPLY TO THIS DRAWING SHEET.
3. EXTERIOR AND METAL DOORS AND FRAMES - REPLACE HOLLOW METAL DOORS WITH LOWE'S FINISH EXTERIOR L FRAME AND FRAME TO MATCH EXISTING. PROVIDE NEW HARDWARE WITH NEW LEADY BUSHY. JOINTS, GASKETS, COORDINATE WITH EXISTING AND REPAIRABLE.
4. PROVIDE BUTTER AND RECONSTRUCT THIS ELEVATION ONLY.
5. SURFACE FINISH - PROVIDE ALUMINUM FABRIC OVER EXISTING.
6. SURFACE FINISH IS FORM - PREPARE SURFACE AND PAINT WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
7. SURFACE FINISH AND/OR DAMAGED - INSTALL HORIZONTAL WALL BRIMS AND METAL TRIM OVER EXISTING FLOOR BEAMS.
8. SURFACE FINISH - REMOVE FLOOR BRIMMY AND PROVIDE ALUMINUM VERTICAL BRIMMY.
9. DAMAGED NOT REPAIRABLE - REMOVE.
10. SURFACE FINISH - PREPARE SURFACE AND PAINT OR STAIN ALL EXTERIOR FINISHED SURFACES.
11. DAMAGED AND/OR BRIMMY - REPAIR AND RE-GRAB DOOR FRAME TO MATCH EXISTING.
12. DAMAGED NOT REPAIRABLE - REMOVE BRIMMY AND REPAIR TO EXIST.
13. LOCUS - NO SQUARE FLOOR TRIM.
14. DAMAGED OR FORM - PREPARE AND PAINT WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
15. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
16. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
17. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
18. SURFACE FINISH - PREPARE SURFACE AND PAINT WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
19. SURFACE FINISH - PREPARE SURFACE AND PAINT WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
20. SURFACE FINISH - PREPARE SURFACE AND PAINT WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
21. SURFACE FINISH - PREPARE SURFACE AND PAINT WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
22. SURFACE FINISH - PREPARE SURFACE AND PAINT WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
23. PREPARE SURFACE AND PAINT WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
24. PREPARE SURFACE AND PAINT WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
25. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
26. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
27. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
28. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
29. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
30. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
31. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
32. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
33. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
34. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
35. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
36. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
37. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
38. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
39. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
40. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
41. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
42. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
43. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.
44. DAMAGED OR FORM - REMOVE AND RE-INSTALL WITH EXTERIOR GRADE COAT OR METAL FINISH GRADE COAT AND PAINT.

CONSTRUCTION NOTES

2n architects
 900 Upper Rd. Suite B
 Dalton, MA 04823
 (401) 422-5640
 www.2narchitect.com



GENERAL SQUIER PARK KEY

NO.	DESCRIPTION	DATE
1	ADD WORK	
2	REMOVE WORK	
3	REPLACE WORK	
4	REPAIR WORK	
5	RECONSTRUCT WORK	
6	REMOVE WORK	
7	REPLACE WORK	
8	REPAIR WORK	
9	RECONSTRUCT WORK	
10	REMOVE WORK	
11	REPLACE WORK	
12	REPAIR WORK	
13	RECONSTRUCT WORK	
14	REMOVE WORK	
15	REPLACE WORK	
16	REPAIR WORK	
17	RECONSTRUCT WORK	
18	REMOVE WORK	
19	REPLACE WORK	
20	REPAIR WORK	
21	RECONSTRUCT WORK	
22	REMOVE WORK	
23	REPLACE WORK	
24	REPAIR WORK	
25	RECONSTRUCT WORK	
26	REMOVE WORK	
27	REPLACE WORK	
28	REPAIR WORK	
29	RECONSTRUCT WORK	
30	REMOVE WORK	
31	REPLACE WORK	
32	REPAIR WORK	
33	RECONSTRUCT WORK	
34	REMOVE WORK	
35	REPLACE WORK	
36	REPAIR WORK	
37	RECONSTRUCT WORK	
38	REMOVE WORK	
39	REPLACE WORK	
40	REPAIR WORK	
41	RECONSTRUCT WORK	
42	REMOVE WORK	
43	REPLACE WORK	
44	REPAIR WORK	
45	RECONSTRUCT WORK	

**LAFAYETTE COUNTY
 ASSESSMENT FOR:
 GENERAL SQUIER PARK**

4223 S HILL ROAD
 DEDDINGTON, MA 04829

FOREST HALL ELEVATIONS

PROJECT NO.	20-04
DATE	TODAY 2023
DRAWN	AM
CHECKED	AM
CAD FILE NO.	A107
SCALE	AS SHOWN

PRELIMINARY 5/4/2023

67 | TEA HOUSE #16
WEST ELEVATION

68 | TEA HOUSE #16
SOUTH ELEVATION

69 | TEA HOUSE #16
EAST ELEVATION

70 | TEA HOUSE #16
NORTH ELEVATION

71 | TEA HOUSE #16
FLOOR PLAN

72 | PAVILION D #17
WEST ELEVATION

73 | PAVILION D #17
SOUTH ELEVATION

74 | PAVILION D #17
EAST ELEVATION

75 | PAVILION D #17
NORTH ELEVATION

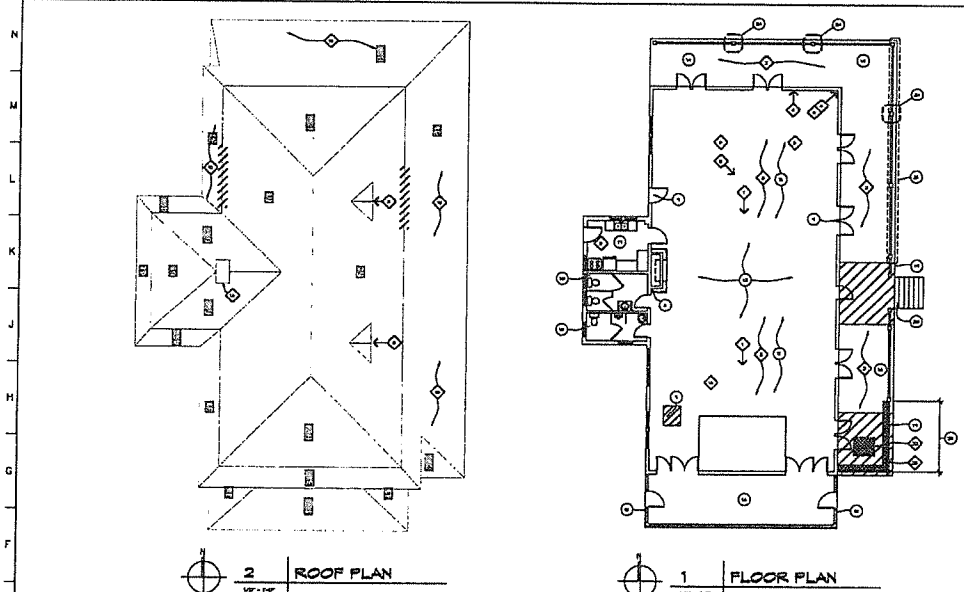
76 | PAVILION D #17
FLOOR PLAN

77 | TOILET #18A
NORTHWEST ELEVATION

78 | TOILET #18A
SOUTHEAST ELEVATION

79 | TOILET #18B
NORTHEAST ELEVATION

80 | TOILET #18B
SOUTHWEST ELEVATION



- ### CONSTRUCTION NOTES
- 1. LOCATED IN GYM SPACES ON ATTIC
 - 2. LOCATED ON FLOOR PLAN
 - 1. REPLACE BROKEN RAMP POOR IN ATTIC
 - 2. FINISH UPBRIDGE
 - 3. REPLACE STAIRS IN GYMNASIUM SPACES WITH TRIMMABLE LEANER
 - 4. GYMNASIUM STAIRS AT VERTICAL CRACK
 - 5. BRIDGE WALLS OF STAIRS IN GYM SPACES AND ADDRESS EXISTING POORING DRIVE
 - 6. ADD BRIDGE AT JOINT SPACES - TYPICAL W/ ALL AT EXISTING SLAB BEAM
 - 7. REPAIR AND SAND DOWN RAMPED FLOOR
 - 8. REPAIR PLASTER CRACKS IN GYMNASIUM
 - 9. REPAIR WALLS PLASTER CRACKS TYPICAL PREPARE AND PAINT
 - 10. REMOVE RESTROOM FOR BARBERS FRESH TEL
 - 11. SAND AND REPAIR FLOOR
 - 12. REPAIR THE CEILING - REMOVE LOOSE PAINT, PREPARE SURFACE FOR NEW PAINT
 - 13. RE-CONSTRUCT FORMER WALL WITH IMPROVED STRUCTURE AND FOUNDATIONS AND SUPPORTS POSTS
 - 14. PREPARE AND PAINT FORMER FLOORING
 - 15. REMOVE BRICKS IN-UP BRIDGE TO 2-UP BRIDGE THE UNDERMINED NORTH WALLS AND PAINT, RE-CONSTRUCT AND BRICKS, REPAIR ALL ALTERNATIVE BRICK TYPES
 - 16. REPAIR CHIMNEY FLUING
 - 17. REMOVE MESH
 - 18. INSULATION REPLACEMENT
 - 19. FORMER PLANK END RAY - REPLACE FORMER PLANK
 - 20. DAMAGED TREAD - REPLACE TREAD PLANK
 - 21. HOOK END RAY - TREAT, PREPARE AND PAINT
 - 22. RIVET DAMAGED - REPLACE
 - 23. RIVETED BEAM TYP - REMOVE AND EXAMINE BEAM
 - 24. GALVAN STEEL - REMOVE AND EXAMINE BEAM
 - 25. RIVETED BEAM END - REMOVE AND EXAMINE BEAM

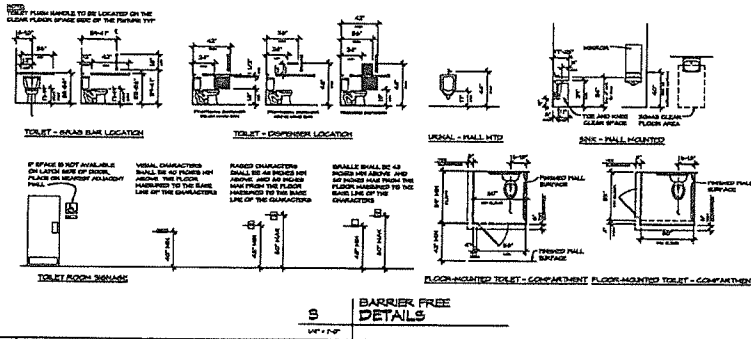
20 architects
 1500 Lupton Rd. Suite B
 Durham, NC 27603
 (919) 422-6640
 www.20architects.net



GENERAL SQUIER PARK KEY

- | NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |
| 11 | | |
| 12 | | |
| 13 | | |
| 14 | | |
| 15 | | |
| 16 | | |
| 17 | | |
| 18 | | |
| 19 | | |
| 20 | | |
| 21 | | |
| 22 | | |
| 23 | | |
| 24 | | |
| 25 | | |

THIS SHEET IS PRELIMINARY AND PENDING THE STRUCTURAL ENGINEERING ANALYSIS



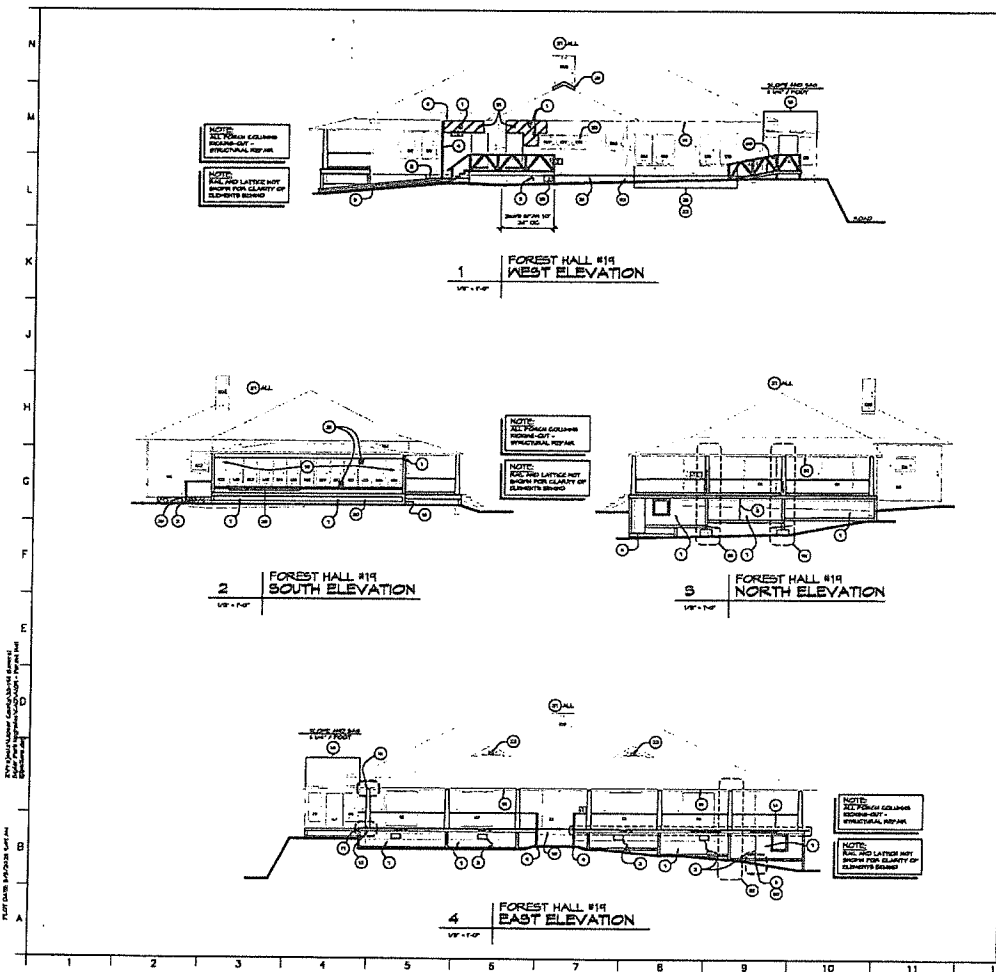
9 BARRIER FREE DETAILS

LAYDEN COUNTY
**ASSESSMENT FOR:
 GENERAL SQUIER PARK**
 4725 S HILL ROAD
 DUTCHMAN, NC 28629

OPENING TITLE
**FOREST HALL
 FLOOR PLAN AND ROOF PLAN**

PROJECT NO.	300-104
DATE	YODAY, 2023
SEARCH	ALPH
CHECKED	ALPH
A10B	
CAD FILE NO.	
SCALE	SHEET OF

PRELIMINARY 5/4/2023



CONSTRUCTION NOTES

1. HOLE IN WALL - REMOVE REPLACEMENT
2. CRACK IN FOUNDATION WALL - MONITOR
3. ANCHOR REMOVED - REPLACE
4. CONCRETE NOT CONNECTED TO ANCHORS AT TOP
5. FLOOR FINISHES DISAPPEARED - REMOVE
6. BELLY THROUGH DISAPPEARED - REMOVE, PAINT, REPLACE SLABING AND RE-GRIND
7. LATTICE UNDESIGNED - REPLACE ALL LATTICE WITH NEW AND EXISTING PART TO MATCH EXISTING
8. PORTING UNDESIGNED - STRUCTURAL REPAIR
9. PORTAL FOOT UNDESIGNED HIDDEN WALL - REPLACE PAINT
10. DAMAGED TRUSS - REPLACE
11. NEW ROOF
12. ROOFED PIN BEAMS REPAIR NORTH AND SOUTH
13. FLOOR END NOT - REPLACE - SEE PLAN NOTE F1 SHEET 20
14. FLOOR AND INTERIOR FINISH - HIGH - SEE PLAN NOTE F1 SHEET 20
15. LAIRS HOLE IN ROOF - SEE PLAN NOTE F1 SHEET 20
16. ROTTED BEAM FROM - VERIFY BEAM CONDITION - SEE NOTE 20 SHEET 20
17. COLUMN MISSING CUT AT FLOOR LINE - RECONSTRUCT COLUMN
18. WALL FINISHES CUT AND DAMAGED - RECONSTRUCT
19. PROPORTION REPLACEMENT - TYPICAL
20. FOUNDATION FOUNDATION - EXIST AND RECONSTRUCT DAMAGED
21. SLAB FINISHES - REPLACE LITE
22. WINDOW SILL - REPLACE
23. ROOFED WALL - REPLACE
24. WINDOW ROOF - REPLACE
25. WINDOW UNDESIGNED BUT DAMAGED - REPLACE
26. LOSS OF FINISHES - REPAIR
27. PAINT FORM - FINISHES AND PAINT
28. CRACKED FINISHES NOT INSTALLED FINISHES - REPLACE
29. WINDOW ROOF - REPLACE
30. FOUND FINISHES UNDESIGNED - REPLACE
31. EXTERIOR LIGHT - HIDDEN BRACKETING - REPLACE
32. LOSS OF CONCRETE AT CORNER F1 - REPAIR
33. COLUMN MISSING

THIS SHEET IS PRELIMINARY AND PENDING THE STRUCTURAL ENGINEERING ANALYSIS

2n architects
100 LINDSEY RD. SUITE B
DUNDON, MI 48423
(502) 452-5440
www.2narchitects.net



GENERAL SQUIER PARK KEY

NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		

LANSING COUNTY
**ASSESSMENT FOR:
GENERAL SQUIER PARK**
4725 S HILL ROAD
DUNDON, MI 48423

DRAWN BY: _____

FOREST HALL ELEVATIONS

PROJECT NO: _____

DATE: _____

DRAWN: _____

CHECKED: _____

A109

CAD FILE NO: _____

SCALE: _____

SHEET _____ OF _____

PRELIMINARY 5/4/2023

Proposed Motion to enter Audit Motions for County and Road Commission into the record:



Motion by , supported by , to enter into the record the County's Audit Motions for May 5, 2023, May 11, 2023, and May 19, 2023 and also the Road Commissions Audit Motion for disbursements dated May 4, 2023 and May 18, 2023. Motion carried.

I MOVE THE FOLLOWING EXPENDITURE DISBURSEMENTS FOR CHECKS DATED 5/05/2023 BE APPROVED BASED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL

FUND		PAYROLL	ACCOUNTS PAY	TOTAL DISB.
GENERAL FUND	101	121,457.49	90,901.88	212,359.37
RENTAL PROPERTY	149		213.90	213.90
PROSECUTING ATTORNEY	205	26,146.28	11,509.02	37,655.30
SHERIFF'S DEPARTMENT	207	129,566.85	250,542.46	380,109.31
PARKS/RECREATION FUND	208	2,803.87	1,165.23	3,969.10
POLLY ANN TRAIL	214		3,179.60	3,179.60
FRIEND OF THE COURT FUND	215	25,366.32	2,094.63	27,460.95
HEALTH DEPARTMENT/DISTRIC	221	71,652.50	5,493.83	77,146.33
SENIOR ACTIVITIES	223	21,905.82	23,220.10	45,125.92
ANIMAL CONTROL	225	5,366.73	1,944.65	7,311.38
SPECIALTY COURTS	232		100.59	100.59
REMONUMENTATION GRANT	245	275.66		275.66
REGISTER OF DEEDS AUTOMAT	256		9,247.00	9,247.00
DISASTER CONTINGENCY FUND	258	1,978.32		1,978.32
INDIGENT DEFENSE FUND	260		11,327.55	11,327.55
911 SERVICE FUND	261	34,409.97	4,064.22	38,474.19
CONCEALED PISTOL LICENSIN	263	1,032.59	714.66	1,747.25
T.N.U.	265		2,581.07	2,581.07
PUBLIC SAFETY MILLAGE	266		270.72	270.72
COMMUNITY CORRECTIONS	272	3,640.91	10,465.66	14,106.57
SENIOR MILLAGE FUND	276		45.36	45.36
POLICE SERVICE CONTRACTS	277	39,285.90		39,285.90
AMERICAN RESCUE PLAN	281		4,065.67	4,065.67
SOIL & SED SPECIAL PROJEC	296		13.86	13.86
LAPEER FAMILY CONTINUATIO	298	700.80	560.93	1,261.73
BURKE DRAIN	461		88.34	88.34
BUILDING AND GROUNDS	631		43,694.23	43,694.23
BELLE RIVER	879		18.84	18.84
*** TOTAL OF ***		\$485,590.01	\$477,524.00	\$963,114.01

AND THAT THE FOLLOWING EXPENDITURE DISBURSEMENTS BE ALLOWED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL AND/OR THEIR AUDIT COMMITTEE IF APPLICABLE

COMMUNITY MENTAL HEALTH F	222	239,485.75	880,576.59	1,120,062.34
MEDICAL CARE FACILITY FUN	291		59.66	59.66
CHILD CARE FUND	292	11,433.89	74.90	11,508.79
VETERANS RELIEF FUND	293	6,082.45	2,935.89	9,018.34
DELINQUENT TAX REVOLVING	516		1,726,255.14	1,726,255.14
FORECLOSURE	532	3,375.34	320.45	3,695.79
REVOLVING DRAIN	601		624.00	624.00
DRAIN EQUIPMENT REVOLVING	639		2,170.45	2,170.45
HEALTH INS. FUND	678		386,111.59	386,111.59
DRAIN FUND	801		74,184.50	74,184.50
*** TOTAL OF ***		\$260,377.43	\$3,073,313.17	\$3,333,690.60

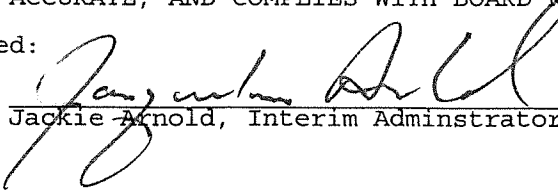
AND THAT THE FOLLOWING EXPENDITURE DISBURSEMENTS BE ALLOWED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL AND/OR STATE STATUTE IF APPLICABLE:

GENERAL CUSTODIAL FUND	701		206,688.28	206,688.28
COMMON BANKING - TRUST AN	702	255,111.35	78,997.63	334,108.98
CURRENT TAX COLLECTION FU	703		215.34	215.34
*** TOTAL OF ***		\$255,111.35	\$285,901.25	\$541,012.60

*** GRAND TOTAL OF DISBURSEMENTS *** \$1,001,078.79 \$3,836,738.42 \$4,837,817.21

THE COUNTY CONTROLLER/ADMINISTRATORS OFFICE HAS COMPILED THIS AUDIT MOTION FROM INFORMATION CONTAINED IN THE CHECK SELECTION LIST SUMMARY BY FUND AND THE PAYROLL REGISTER. TO THE BEST OF OUR KNOWLEDGE THE INFORMATION IS CORRE ACCURATE, AND COMPLIES WITH BOARD RESOLUTIONS AND APPLICABLE POLICES.

Signed:


Jackie Arnold, Interim Administrator/Controller

LAPEER COUNTY

FOR CHECKS DATED 5/05/2023

PAGE 1

I MOVE THE FOLLOWING EXPENDITURE DISBURSEMENTS FOR CHECKS DATED 5/05/2023 BE APPROVED BASED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL

FUND		PAYROLL	ACCOUNTS PAY	TOTAL DISB.
SHERIFF'S DEPARTMENT	207	1,495.32		1,495.32
*** TOTAL OF ***		\$1,495.32		\$1,495.32

AND THAT THE FOLLOWING EXPENDITURE DISBURSEMENTS BE ALLOWED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL AND/OR THEIR AUDIT COMMITTEE IF APPLICABLE

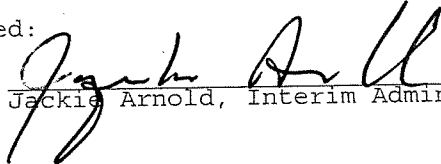
*** TOTAL OF ***

AND THAT THE FOLLOWING EXPENDITURE DISBURSEMENTS BE ALLOWED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL AND/OR STATE STATUTE IF APPLICABLE:

COMMON BANKING - TRUST AN	702	354.40		354.40
*** TOTAL OF ***		\$354.40		\$354.40
*** GRAND TOTAL OF DISBURSEMENTS ***		\$1,849.72		\$1,849.72

THE COUNTY CONTROLLER/ADMINISTRATORS OFFICE HAS COMPILED THIS AUDIT MOTION FROM INFORMATION CONTAINED IN THE CHECK SELECTION LIST SUMMARY BY FUND AND THE PAYROLL REGISTER. TO THE BEST OF OUR KNOWLEDGE THE INFORMATION IS CORRE ACCURATE, AND COMPLIES WITH BOARD RESOLUTIONS AND APPLICABLE POLICES.

Signed:


 Jackie Arnold, Interim Administrator/Controller

LAPPEER COUNTY

I MOVE THE FOLLOWING EXPENDITURE DISBURSEMENTS FOR CHECKS DATED 05/05/2023 BE APPROVED BASED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL

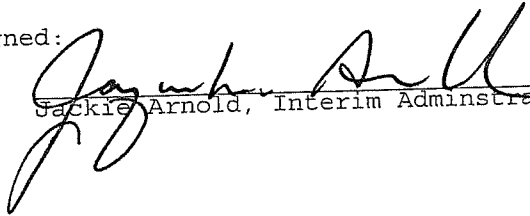
FUND	PAYROLL	ACCOUNTS PAY	TOTAL DISB.
*** TOTAL OF ***			
AND THAT THE FOLLOWING EXPENDITURE DISBURSEMENTS BE ALLOWED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL AND/OR THEIR AUDIT COMMITTEE IF APPLICABLE			
COMMUNITY MENTAL HEALTH F 222		243,314.52	243,314.52
*** TOTAL OF ***		\$243,314.52	\$243,314.52

AND THAT THE FOLLOWING EXPENDITURE DISBURSEMENTS BE ALLOWED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL AND/OR STATE STATUTE IF APPLICABLE:

*** TOTAL OF ***			
*** GRAND TOTAL OF DISBURSEMENTS ***		\$243,314.52	\$243,314.52

THE COUNTY CONTROLLER/ADMINISTRATORS OFFICE HAS COMPILED THIS AUDIT MOTION FROM INFORMATION CONTAINED IN THE CHECK SELECTION LIST SUMMARY BY FUND AND THE PAYROLL REGISTER. TO THE BEST OF OUR KNOWLEDGE THE INFORMATION IS CORRECT, ACCURATE, AND COMPLIES WITH BOARD RESOLUTIONS AND APPLICABLE POLICES.

Signed:



Jackie Arnold, Interim Administrator/Controller

I MOVE THE FOLLOWING EXPENDITURE DISBURSEMENTS FOR CHECKS DATED 05/11/2023 BE APPROVED BASED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL

FUND		PAYROLL	ACCOUNTS PAY	TOTAL DISB.
PARKS/RECREATION FUND	208		1,850.00	1,850.00
*** TOTAL OF ***			\$1,850.00	\$1,850.00

AND THAT THE FOLLOWING EXPENDITURE DISBURSEMENTS BE ALLOWED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL AND/OR THEIR AUDIT COMMITTEE IF APPLICABLE

*** TOTAL OF ***

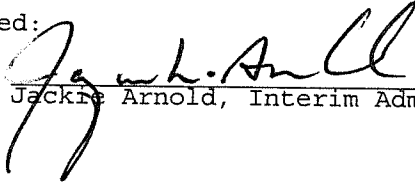
AND THAT THE FOLLOWING EXPENDITURE DISBURSEMENTS BE ALLOWED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL AND/OR STATE STATUTE IF APPLICABLE:

*** TOTAL OF ***

*** GRAND TOTAL OF DISBURSEMENTS ***		\$1,850.00	\$1,850.00
--------------------------------------	--	------------	------------

THE COUNTY CONTROLLER/ADMINISTRATORS OFFICE HAS COMPILED THIS AUDIT MOTION FROM INFORMATION CONTAINED IN THE CHECK SELECTION LIST SUMMARY BY FUND AND THE PAYROLL REGISTER. TO THE BEST OF OUR KNOWLEDGE THE INFORMATION IS CORRE ACCURATE, AND COMPLIES WITH BOARD RESOLUTIONS AND APPLICABLE POLICES.

Signed:



Jackie Arnold, Interim Administrator/Controller

I MOVE THE FOLLOWING EXPENDITURE DISBURSEMENTS FOR CHECKS DATED 5/19/2023 BE APPROVED BASED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL

FUND	PAYROLL	ACCOUNTS PAY	TOTAL DISB.
GENERAL FUND 101	120,830.71	76,632.40	197,463.11
RENTAL PROPERTY 149		20.25	20.25
PROSECUTING ATTORNEY 205	28,052.92	1,606.84	29,659.76
SHERIFF'S DEPARTMENT 207	135,975.18	23,784.49	159,759.67
PARKS/RECREATION FUND 208	4,229.92	4,510.69	8,740.61
POLLY ANN TRAIL 214		10.00	10.00
FRIEND OF THE COURT FUND 215	26,910.71	525.26	27,435.97
HEALTH DEPARTMENT/DISTRIC 221	73,144.45	8,992.21	82,136.66
SENIOR ACTIVITIES 223	21,653.01	10,494.73	32,147.74
ANIMAL CONTROL 225	5,325.36	2,646.82	7,972.18
SPECIALTY COURTS 232		3,721.90	3,721.90
REMONUMENTATION GRANT 245	275.66		275.66
REGISTER OF DEEDS AUTOMAT 256		512.54	512.54
DISASTER CONTINGENCY FUND 258	1,978.32		1,978.32
INDIGENT DEFENSE FUND 260		34,336.72	34,336.72
911 SERVICE FUND 261	34,123.78	6,556.77	40,680.55
CONCEALED PISTOL LICENSIN 263	1,032.59		1,032.59
LAW LIBRARY FUND 269		748.68	748.68
COMMUNITY CORRECTIONS 272	3,640.91	3,814.70	7,455.61
POLICE SERVICE CONTRACTS 277	39,247.89		39,247.89
AMERICAN RESCUE PLAN 281		58,916.79	58,916.79
LAPEER FAMILY CONTINUATIO 298	700.80	11,710.00	12,410.80
HISTORIC COURTHOUSE 470		188.73	188.73
MIDDLE MILE PROJECT 472		1,504.06	1,504.06
BUILDING AND GROUNDS 631		30,411.66	30,411.66
INDIAN CREEK - DEBT 889		500.00	500.00
*** TOTAL OF ***	\$497,122.21	\$282,146.24	\$779,268.45

AND THAT THE FOLLOWING EXPENDITURE DISBURSEMENTS BE ALLOWED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL AND/OR THEIR AUDIT COMMITTEE IF APPLICABLE

COMMUNITY MENTAL HEALTH F 222	239,718.19	1,097,183.57	1,336,901.76
CHILD CARE FUND 292	12,788.29	11,558.72	24,347.01
VETERANS RELIEF FUND 293	6,035.06	3,385.97	9,421.03
DELINQUENT TAX REVOLVING 516		20,510.43	20,510.43
FORECLOSURE 532	3,411.28	2,536.64	5,947.92
REVOLVING DRAIN 601		8,740.77	8,740.77
DRAIN EQUIPMENT REVOLVING 639		27,976.04	27,976.04
WORKERS COMP FUND 677		10,436.11	10,436.11
DRAIN FUND 801		18,177.14	18,177.14
*** TOTAL OF ***	\$261,952.82	\$1,200,505.39	\$1,462,458.21

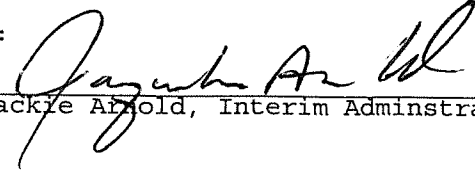
AND THAT THE FOLLOWING EXPENDITURE DISBURSEMENTS BE ALLOWED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL AND/OR STATE STATUTE IF APPLICABLE:

GENERAL CUSTODIAL FUND 701		92,691.72	92,691.72
COMMON BANKING - TRUST AN 702	265,660.69		265,660.69
CURRENT TAX COLLECTION FU 703		3,610.00	3,610.00
DISTRICT MUNICIPAL COURT 710		44,436.38	44,436.38
LIBRARY PENAL FINE FUND 721		18,396.00	18,396.00
*** TOTAL OF ***	\$265,660.69	\$159,134.10	\$424,794.79

*** GRAND TOTAL OF DISBURSEMENTS *** \$1,024,735.72 \$1,641,785.73 \$2,666,521.45

THE COUNTY CONTROLLER/ADMINISTRATORS OFFICE HAS COMPILED THIS AUDIT MOTION FROM INFORMATION CONTAINED IN THE CHECK SELECTION LIST SUMMARY BY FUND AND THE PAYROLL REGISTER. TO THE BEST OF OUR KNOWLEDGE THE INFORMATION IS CORRE ACCURATE, AND COMPLIES WITH BOARD RESOLUTIONS AND APPLICABLE POLICES.

Signed:


 Jackie Arnold, Interim Administrator/Controller

I MOVE THE FOLLOWING EXPENDITURE DISBURSEMENTS FOR CHECKS DATED 05/19/2023 BE APPROVED BASED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL

FUND	PAYROLL	ACCOUNTS PAY	TOTAL DISB.
GENERAL FUND	101		
PROSECUTING ATTORNEY	205	1,570.32	1,570.32
FRIEND OF THE COURT FUND	215	69.96	69.96
HEALTH DEPARTMENT/DISTRIC	221	317.78	317.78
SENIOR ACTIVITIES	223	458.56	458.56
ANIMAL CONTROL	225	25.43	25.43
LAPEER FAMILY CONTINUATIO	298	1,246.49	1,246.49
MIDDLE MILE PROJECT	472	7,500.00	7,500.00
		304.06	304.06
*** TOTAL OF ***		\$11,492.60	\$11,492.60

AND THAT THE FOLLOWING EXPENDITURE DISBURSEMENTS BE ALLOWED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL AND/OR THEIR AUDIT COMMITTEE IF APPLICABLE

COMMUNITY MENTAL HEALTH F	222	2,113.51	2,113.51
VETERANS RELIEF FUND	293	1,776.92	1,776.92
*** TOTAL OF ***		\$3,890.43	\$3,890.43

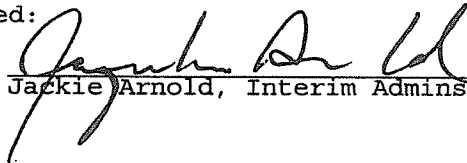
AND THAT THE FOLLOWING EXPENDITURE DISBURSEMENTS BE ALLOWED ON THE SIGNATURE OF THE RESPECTIVE DEPARTMENT HEAD/ELECTED OFFICIAL AND/OR STATE STATUTE IF APPLICABLE:

*** TOTAL OF ***

*** GRAND TOTAL OF DISBURSEMENTS ***		\$15,383.03	\$15,383.03
--------------------------------------	--	-------------	-------------

THE COUNTY CONTROLLER/ADMINISTRATORS OFFICE HAS COMPILED THIS AUDIT MOTION FROM INFORMATION CONTAINED IN THE CHECK SELECTION LIST SUMMARY BY FUND AND THE PAYROLL REGISTER. TO THE BEST OF OUR KNOWLEDGE THE INFORMATION IS CORRE ACCURATE, AND COMPLIES WITH BOARD RESOLUTIONS AND APPLICABLE POLICES.

Signed:


 Jackie Arnold, Interim Administrator/Controller

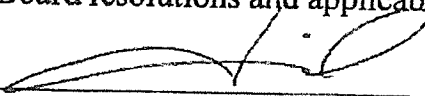
ROAD COMMISSION AUDIT MOTION

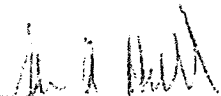
For checks dated: 05/04/2023

I move that the following expenditure disbursements be approved based on the signature of the below listed representatives of the Road Commission.

<u>Account Number</u>	<u>Description</u>	<u>Amount</u>
201-449-703.000	Salary	\$ 1,062.24
201-449-703.001	Taxable Per Diems	\$ -
201-449-7114.000	Medicare	\$ 19.85
201-449-715.000	FICA	\$ 84.93
201-449-716.000	Medical, Dental, Vision Insurance	\$ 400.00
201-449-717.000	Life Insurance	\$ 10.62
201-449-718.000	Retirement	\$ 94.00
201-449-860.050	Mileage	\$ -
201-449-957.00	Memberships	\$ -
Total:		<u>\$ 1,671.64</u>

The County Road Commission Office has compiled this audit motion from information contained in the records of the Road Commission. To the best of our knowledge the information is correct, accurate and complies with Board resolutions and applicable policies.


Joseph P. Minaudo, Jr., Board Secretary


John Howell, Chairman


ROAD COMMISSION AUDIT MOTION


For checks dated: 05/18/2023

I move that the following expenditure disbursements be approved based on the signature of the below listed representatives of the Road Commission.

<u>Account Number</u>	<u>Description</u>	<u>Amount</u>
201-449-703.000	Salary	\$ 1,062.24
201-449-703.001	Taxable Per Diems	\$ 140.00
201-449-7114.000	Medicare	\$ 21.89
201-449-715.000	FICA	\$ 93.61
201-449-716.000	Medical, Dental, Vision Insurance	\$ 400.00
201-449-717.000	Life Insurance	\$ -
201-449-718.000	Retirement	\$ 94.00
201-449-860.050	Mileage	\$ 45.92
201-449-957.00	Memberships	\$ -
Total:		<u>\$ 1,857.66</u>

The County Road Commission Office has compiled this audit motion from information contained in the records of the Road Commission. To the best of our knowledge the information is correct, accurate and complies with Board resolutions and applicable policies.


Joseph P. Minaudo, Jr., Board Secretary


John Howell, Chairman